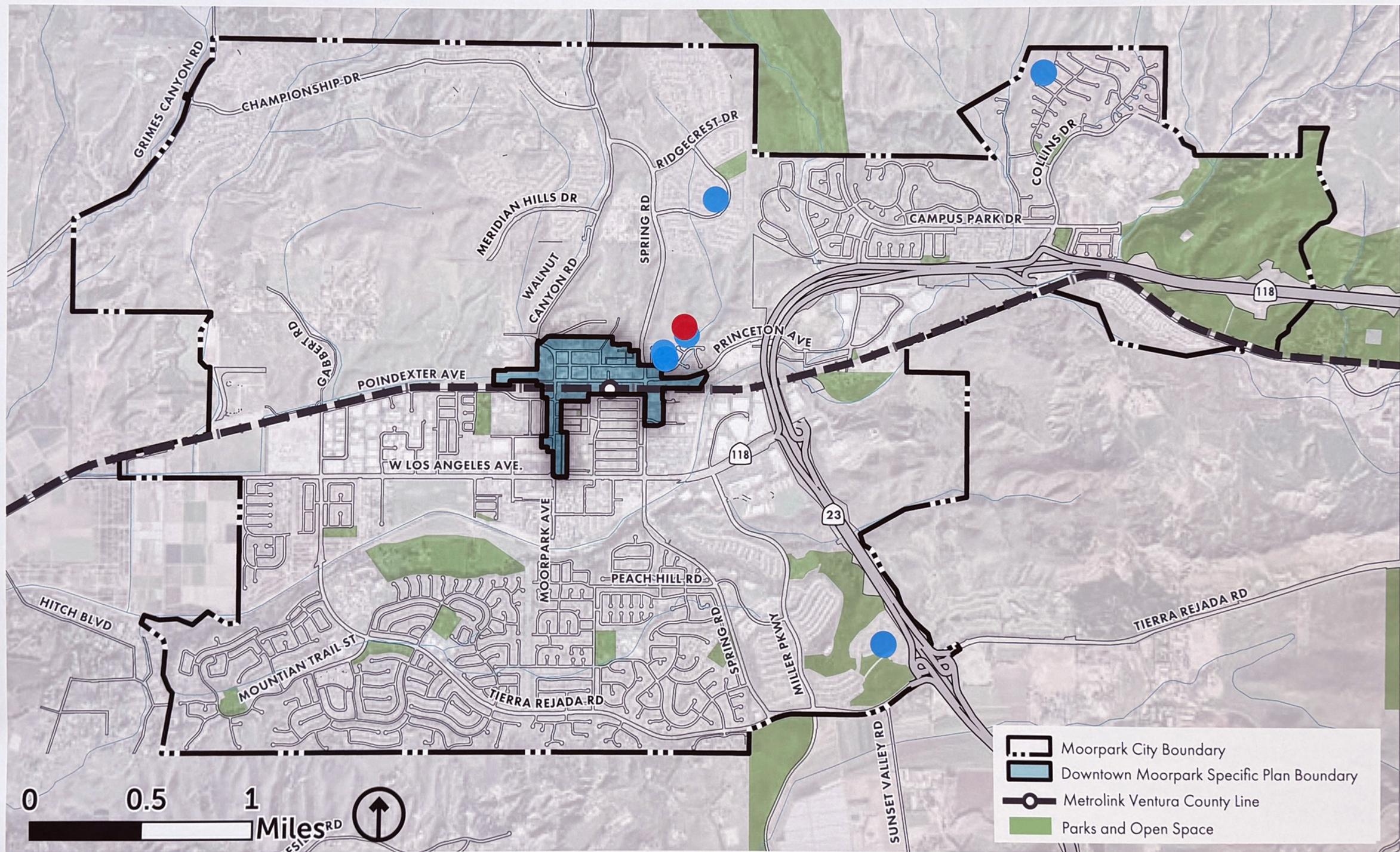


WHERE DO YOU LIVE / WORK?

ADD A DOT STICKER ON THE MAP FOR WHERE YOU LIVE OR WORK

PLACE A BLUE STICKER ON THE MAP TO SHOW WHERE YOU LIVE.

PLACE A RED STICKER ON THE MAP TO SHOW WHERE YOU WORK.



WHERE DO YOU LIVE / WORK?

ADD A DOT STICKER ON THE MAP FOR WHERE YOU LIVE OR WORK

PLACE A BLUE STICKER ON THE MAP TO SHOW WHERE YOU LIVE.

PLACE A RED STICKER ON THE MAP TO SHOW WHERE YOU WORK.



COMMUNITY WORKSHOP #1 SUMMARY

COMMUNITY WORKSHOP #1

The City of Moorpark held its first community workshop for the Downtown Moorpark Specific Plan at the Moorpark Community Center on Tuesday, September 9, 2025, from 3:00pm to 7:00pm. The purpose of the workshop was to introduce the Downtown Specific Plan project to the community, present and confirm initial findings and existing conditions, and solicit community feedback on their needs and wants for Downtown Moorpark over the next 20 years. The workshop was held in an open house format, allowing community members to freely interact with informational boards during the workshop time. 49 community members were in attendance.



When
September 9, 2025
3:00 pm - 7:00 pm



Where
Moorpark Community Center
799 Moorpark Ave



49 Attendees

Attendees Live...

7 in the Downtown Moorpark Specific Plan Area **30** in the city of Moorpark, outside of Downtown **1** outside the city of Moorpark

Attendees Work...

7 in the Downtown Moorpark Specific Plan Area **7** in the city of Moorpark, outside of Downtown **3** outside the city of Moorpark

Topics of Open Ended Comments About Downtown

Parking (24)	Cultural & Historic Resources (20)	Aesthetics (13)
Activities (13)	Walkability & Connectivity (13)	Circulation (11)
Housing (8)	Economic Vitality (8)	Tourism (6)
Open Space (2)	Other (9)	

Features People Want to See in Downtown Moorpark

Parklet/Outdoor Dining (16)	Restaurants/Nightlife (14)	Street Trees (12)	String Lights (11)	Mural (11)
Pedestrian Lighting (10)	Gateway Signage (Arch) (10)	Beach/Seating (9)	Decorative Crosswalks (8)	Historical Plaques (8)
Bike Parking (7)	Utility Box Wrap Art (7)	Streetlight Post Banners (6)	Art Installation (6)	Decorative Ped. Lights (5)
Gateway Signage (Water Tower) (5)	Parklet/Seating (5)	Artful Trash Receptors (5)	Freestanding Kiosk Signage (4)	Gateway Signage (Pedestrian Scale) (1)

Favorite Spot to Visit

Most Popular:

- Restaurants - Various (16)
- Civic Area - Library & Senior Center (12)
- High Street Arts Center (8)
- Magnolia Park (4)



Other Suggestions for Downtown



Country Days Community Parade & Street Fair Pop-Up Booth

The City of Moorpark set up a booth on High Street during the Country Days Parade and Street Fair on October 4, 2025. Throughout the event, 70 comments were received from community members, with the top 5 topics mentioned being:

- More Dining Locations & Stores
- Entertainment and Performance Venues for All Ages
- Transportation Options
- Parking Access
- Public Space Amenities



WEST GATEWAY

The images, illustrations, and ideas depicted on this board are intended to help guide policies and development standards for the Moorpark Downtown Specific Plan. Does this reflect community needs and aspirations for Downtown Moorpark over the next 20 years? Let us know!

Please note that all ideas shown on these boards are conceptual and not planned developments.



A



D



C



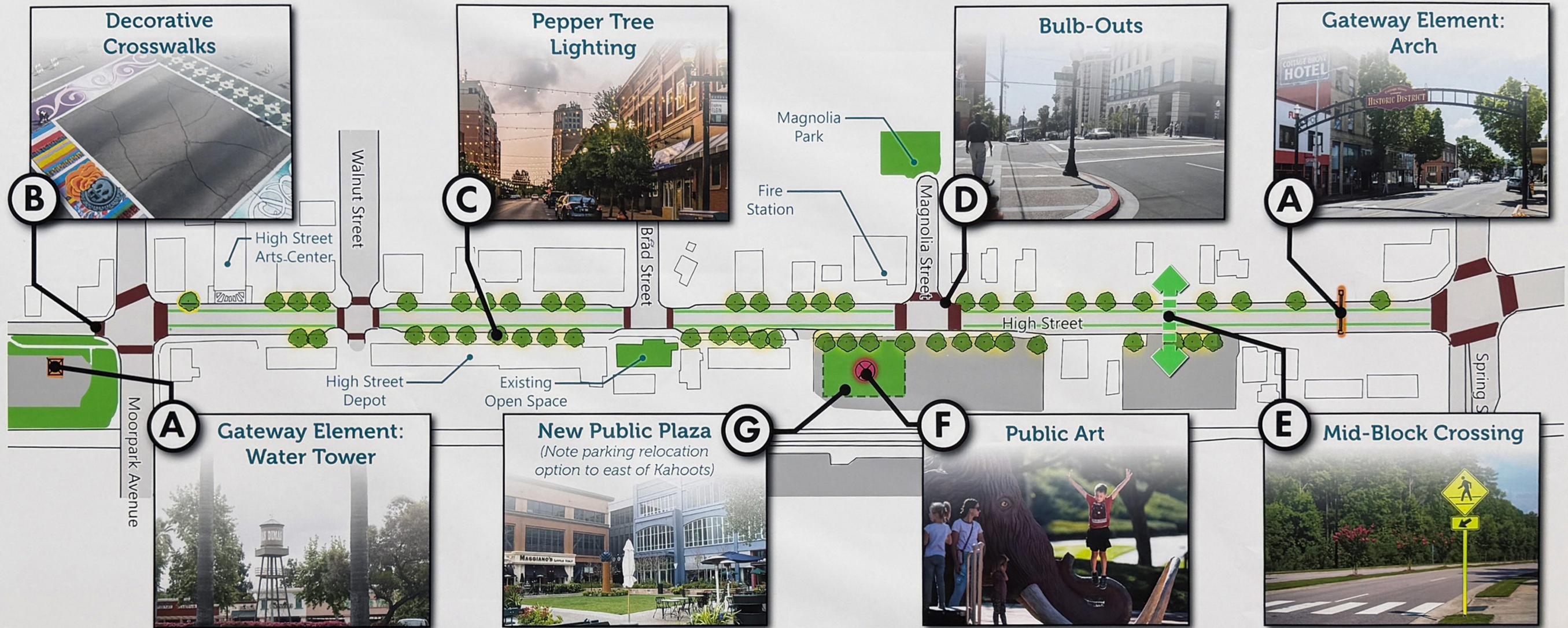
ADDITIONAL THOUGHTS? WRITE THEM HERE!

- Quincy Market Boston
- More adequate parking adjacent to scenic views
- Think House community around Birkenshaw proposal
- Goat Zone
- our oldest Rowman... more family... + calls in baby beds... + more rooms... not adjacent to water
- High quality Design Standards
- Market/Food Hall
- Water Tower
- Farmers Market
- Urban Co-ops @ Commerce site as restaurants
- Birkenshaw House as either museum/event space (like Leona Adobe Museum in Colubus) or downtown historic hotel/inn/restaurant
- Kid friendly coffee shop/co-working space for remote working parents
- Focus on the Moms + Family!! - co-working coffee shop w/ Mid zone (like Mid+Coffee in Carlsbad)
- High Speed Safety

HIGH ST PUBLIC REALM

The images, illustrations, and ideas depicted on this board are intended to help guide policies and development standards for the Moorpark Downtown Specific Plan. Does this reflect community needs and aspirations for Downtown Moorpark over the next 20 years? Let us know!

Please note that all ideas shown on these boards are conceptual and not planned developments.



ADDITIONAL THOUGHTS? WRITE THEM HERE!

Handwritten notes on sticky paper:

- Flashing crossings.
- Retain ~~the~~ Plaza when doing lot of
- Like arch not tower.
- Mid block w/ tree light
- Oregon bulbs @ site
- Gateway arches
Bulb-out lights
Slow traffic
Paved crosswalks
Outdoor cafe style dining/seating
- Historic/Charming decorative elements in consistent theme (pub art, lighting, crosswalks, street signs)
NO modern or one-off art pieces out of character with the area.

EAST GATEWAY

The images, illustrations, and ideas depicted on this board are intended to help guide policies and development standards for the Moorpark Downtown Specific Plan. Does this reflect community needs and aspirations for Downtown Moorpark over the next 20 years? Let us know!

Please note that all ideas shown on these boards are conceptual and not planned developments.



New Housing

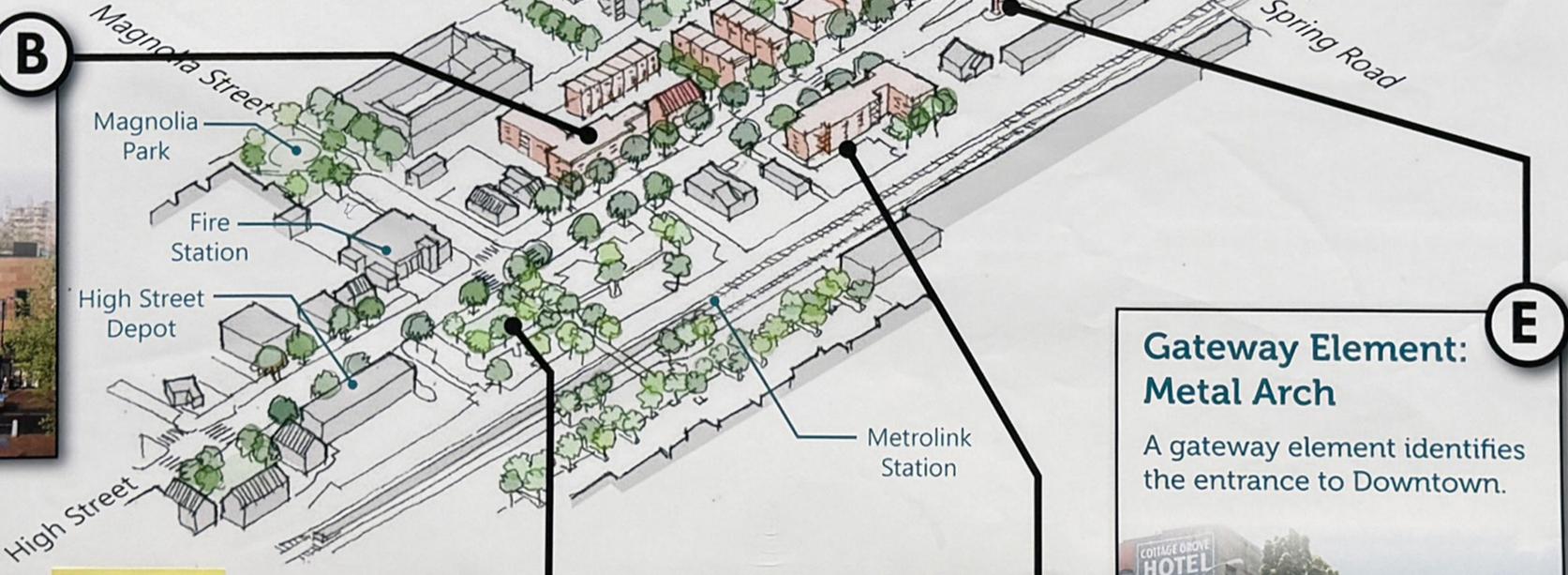
A

like crabgrass site
eg. 4th/market
Brentwood

cul de sac
comm.
into arter.
(@ spring)

B

High Street Infill Development



Public Plaza

New Public Plaza at existing parking to signify important Metro Link entrance and linkage to south parking lot. Public parking options retained in close proximity to rail station.

! splash pad for kiddos!



C

Parking Lot Redesign

Short term:
Improved parking lot
Long term:
Potential site for housing

D

Gateway Element: Metal Arch

A gateway element identifies the entrance to Downtown.



E

ADDITIONAL THOUGHTS? WRITE THEM HERE!

What is the evacuation plan?

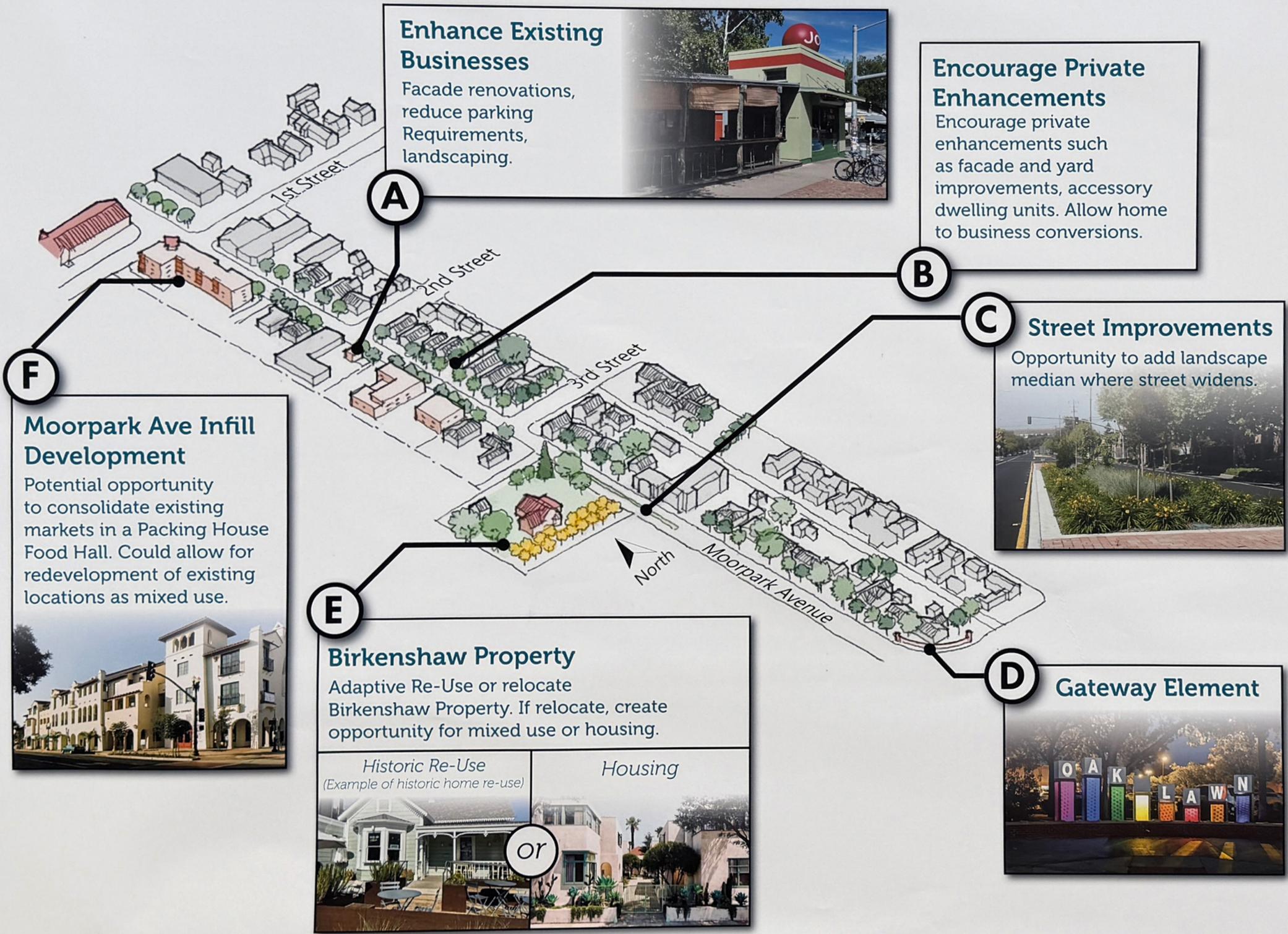
CHARLTS & TYPICAL INT. needs signage cars block intersection "Do not block intersection"

3 story limit 2nd concern w/ traffic + Chubs + safety

MOORPARK AVE

The images, illustrations, and ideas depicted on this board are intended to help guide policies and development standards for the Moorpark Downtown Specific Plan. Does this reflect community needs and aspirations for Downtown Moorpark over the next 20 years? Let us know!

Please note that all ideas shown on these boards are conceptual and not planned developments.



ADDITIONAL THOUGHTS? WRITE THEM HERE!

Avoid of Automobile?

RESIDENTIAL NEIGHBORHOOD

The images, illustrations, and ideas depicted on this board are intended to help guide policies and development standards for the Moorpark Downtown Specific Plan. Does this reflect community needs and aspirations for Downtown Moorpark over the next 20 years? Let us know!

Please note that all ideas shown on these boards are conceptual and not planned developments.

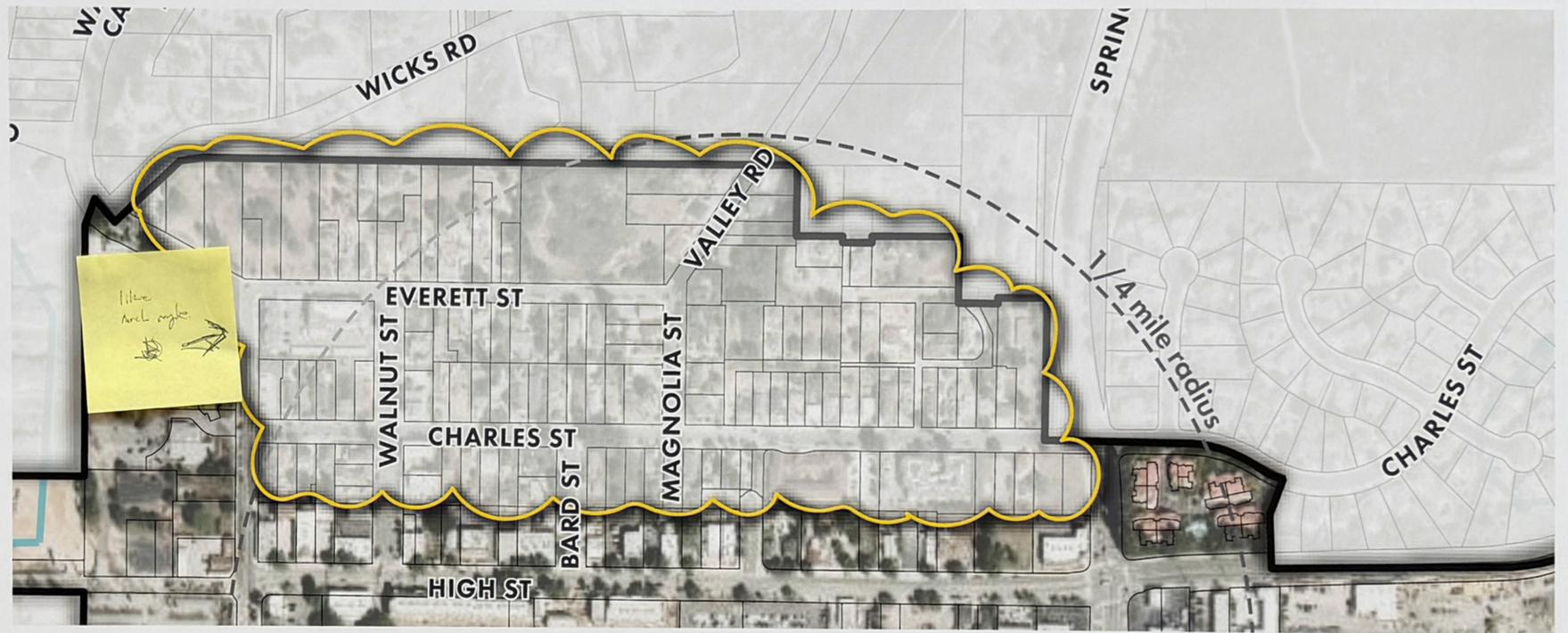
Key Policy Concepts

Allow for small lot development

Small lot development will allow low density residential uses consistent with the existing character of Downtown Moorpark's residential neighborhood.

Establish parking permit district

A parking permit district will allow only residents to park on specific residential streets. The parking permit district will preserve on-street parking for residents.



Example Residential Neighborhood Infill



like this style

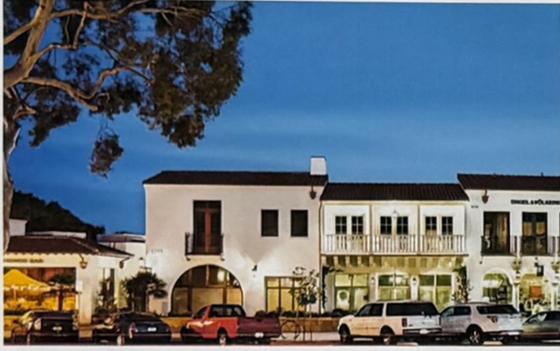
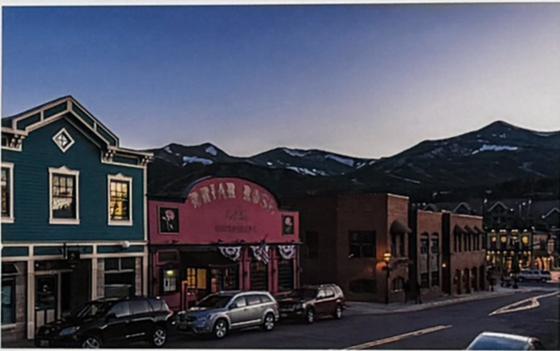
ADDITIONAL THOUGHTS? WRITE THEM HERE!

All styles good - complement existing

Conor Noise Noise + construction

DOWNTOWN MOORPARK SHOULD LOOK MORE LIKE...

ADD A DOT STICKER NEXT TO IMAGES THAT RESONATE WITH YOUR FUTURE VISION OF DOWNTOWN MOORPARK

	CONSISTENT	MIX OF BOTH	ECLECTIC	
<ul style="list-style-type: none"> • FLAT FRONT FACADE • ROOF CORNICES • RECESSED ENTRIES 	●	●●		<ul style="list-style-type: none"> • MULTIPLE ROOF LINES • PROJECTING FACADE ELEMENTS • MIX OF ARCHITECTURAL DETAILS 
<ul style="list-style-type: none"> • CONSISTENT ARCHITECTURAL STYLE 	●	●●	●●	<ul style="list-style-type: none"> • MIX OF ARCHITECTURAL STYLES 
<ul style="list-style-type: none"> • CONTINUOUS STOREFRONT EXPERIENCE • LARGE TRANSPARENT WINDOWS 		●	●●●●●	<ul style="list-style-type: none"> • DIVERSE PEDESTRIAN EXPERIENCE INCLUDING LAWNS, PORCHES, OUTDOOR DINING, AND COURTYARDS 

ADDITIONAL THOUGHTS? WRITE THEM HERE!

Disney main street
1100 117
but
not

Wanted
up front
architecture
public
space

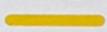
Historic
architecture
to
maintain
it

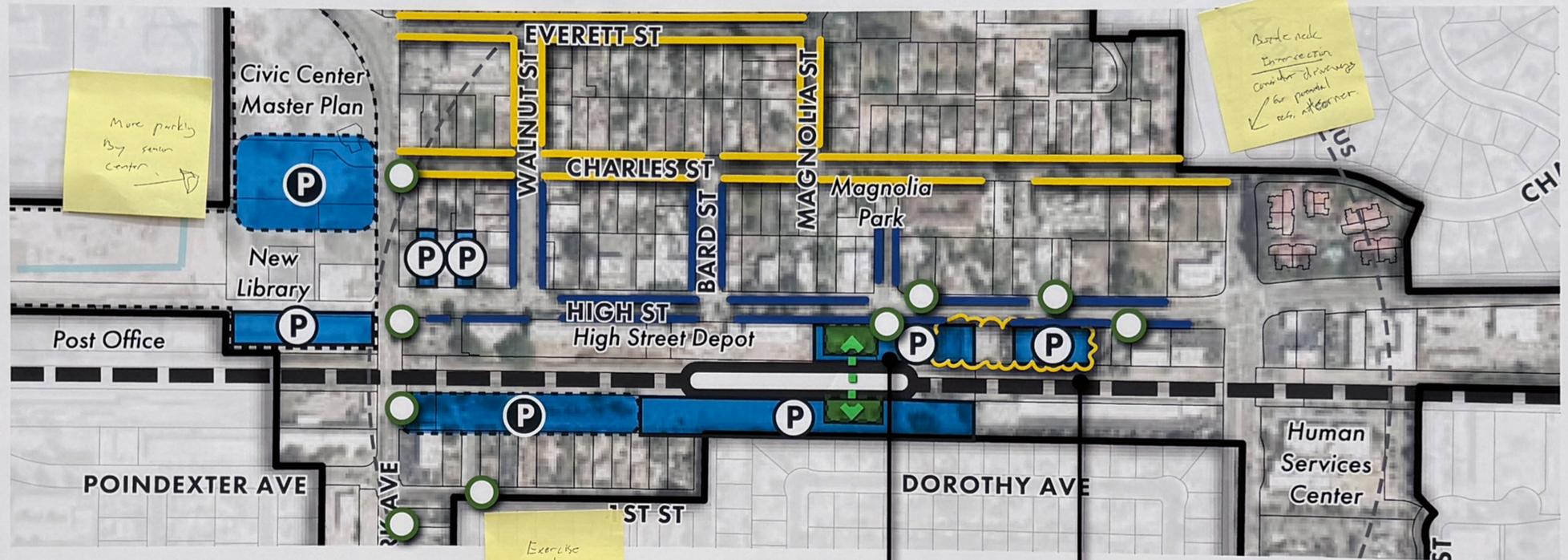
Historic
design
architecture
keep
who
we
are

PARKING

The images, illustrations, and ideas depicted on this board are intended to help guide policies and development standards for the Moorpark Downtown Specific Plan. Does this reflect community needs and aspirations for Downtown Moorpark over the next 20 years? Let us know!

Please note that all ideas shown on these boards are conceptual and not planned developments.

-  Existing parking lots
-  New public parking lots
-  Existing On-Street Parking
-  New residential parking permit district
-  New Public Plaza
-  Existing Pedestrian connection
-  Parking Signage & Wayfinding



Digital Parking Signage and Wayfinding Examples



public plaza within existing parking lot
A new public plaza welcomes Metrolink commuters and visitors arriving via the south Metrolink parking lot.

Phase 1 (short term)
Improve existing parking lot

Phase 2 (Long Term)
Potential housing

ADDITIONAL THOUGHTS? WRITE THEM HERE

Utilize metrolink signage for...

Thoughtful design of public signage (parking, wayfinding) matching theme of historic moorpark/high street area. Avoid bright modern blue/green signage clashing with historic character.

make digital signs solar

Kahoots may not be well suited to make w/ more crossing.

care gate crossing over tracks
Arms

Permit process to a hurdle for residents - slow down

