

INDEX

Index Sheet

Plan 1

- 1.1 Plan 1 - Floor Plan
- 1.2 Plan 1 - Roof Plan
- 1.3 Plan 1 - Front Elevations
- 1.4 Plan 1 - A-Spanish Front, Sides & Rear Elevation
- 1.5 Plan 1 - B-Craftsman Front, Sides & Rear Elevation
- 1.6 Plan 1 - C-Tuscan Front, Sides & Rear Elevation

Plan 2

- 2.1 Plan 2 - Floor Plan
- 2.2 Plan 2 - Roof Plan
- 2.3 Plan 2 - Front Elevations
- 2.4 Plan 2 - A-Spanish Front, Sides & Rear Elevation
- 2.5 Plan 2 - B-Craftsman Front, Sides & Rear Elevation
- 2.6 Plan 2 - C-Tuscan Front, Sides & Rear Elevation

Plan 3

- 3.1 Plan 3 - Floor Plan
- 3.2 Plan 3 - Roof Plan
- 3.3 Plan 3 - Front Elevations
- 3.4 Plan 3 - A-Spanish Front, Sides & Rear Elevation
- 3.5 Plan 3 - B-Craftsman Front, Sides & Rear Elevation
- 3.6 Plan 3 - C-Tuscan Front, Sides & Rear Elevation

Plan 4 / 4x

- 4.1 Plan 4 - Floor Plan
- 4.2 Plan 4x - Floor Plan
- 4.3 Plan 4/4x - Roof Plan
- 4.4 Plan 4 - Front Elevations
- 4.5 Plan 4x - Front Elevations
- 4.6 Plan 4 - A-Spanish Front, Sides & Rear Elevation
- 4.7 Plan 4x - A-Spanish Front, Sides & Rear Elevation
- 4.8 Plan 4 - B-Craftsman Front, Sides & Rear Elevation
- 4.9 Plan 4x - B-Craftsman Front, Sides & Rear Elevation
- 4.10 Plan 4 - C-Tuscan Front, Sides & Rear Elevation
- 4.11 Plan 4x - C-Tuscan Front, Sides & Rear Elevation

Street Scene



Subdivision Development Plan

Verbena at Pacific Arroyo

Single-Family Detached
Moorpark, California

Pacific Communities Builder, Inc.

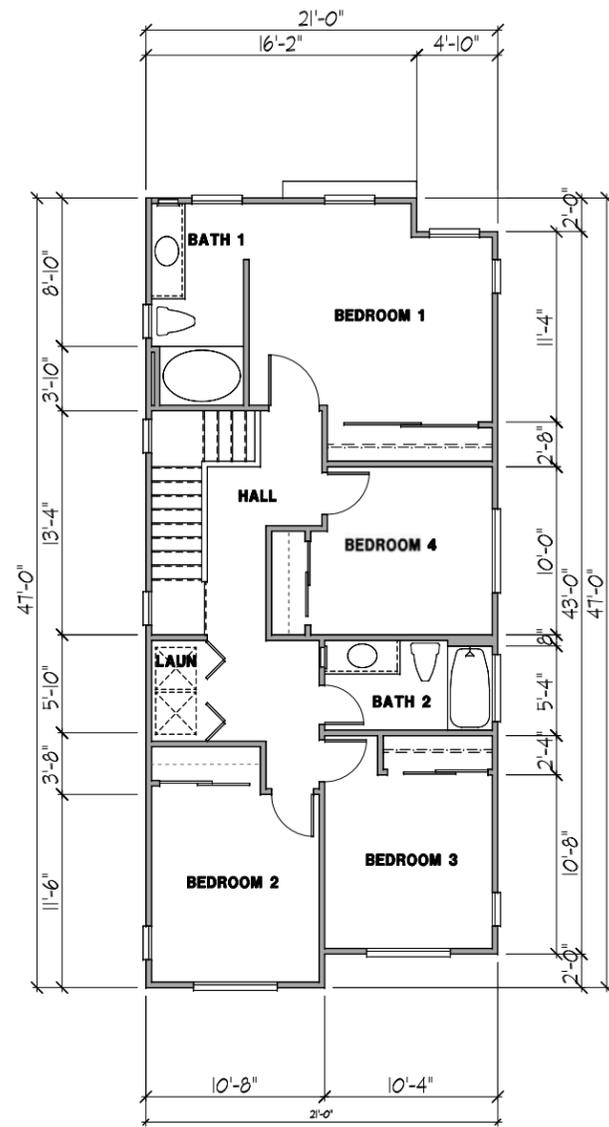
KPI Inc.

KNITTER PARTNERS
INTERNATIONAL, INC.
architecture & planning

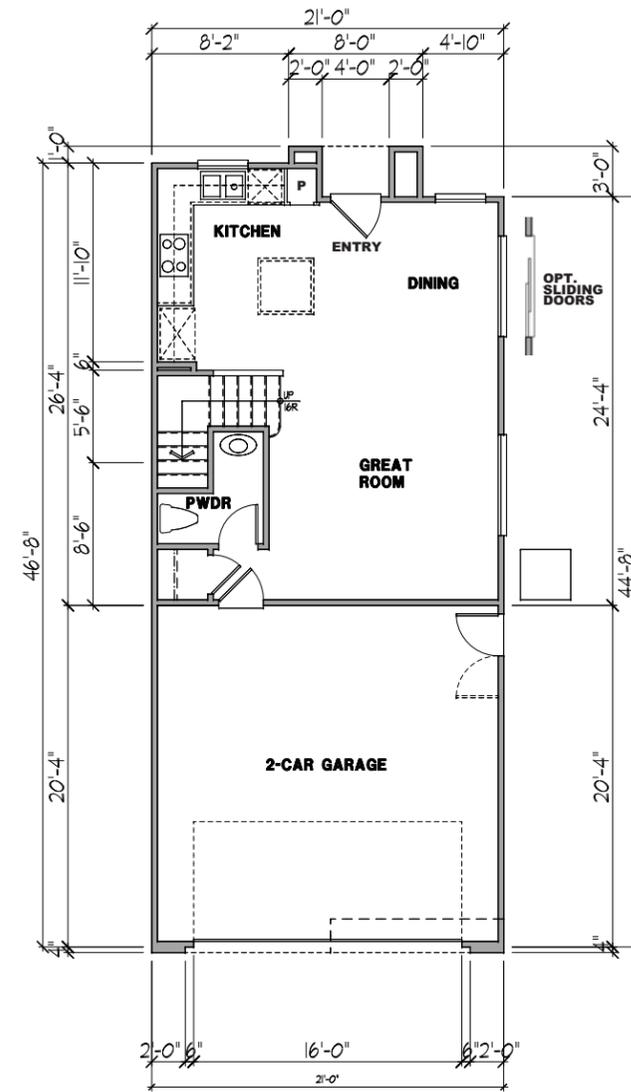
1401 DOVE ST. SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (949) 752-1177
FAX: (949) 752-0151

WWW.KNITTER.COM
*KNITTER PARTNERS INTERNATIONAL, INC.
ALL RIGHTS RESERVED 2016.

15036 09-06-2017



SECOND FLOOR



FIRST FLOOR

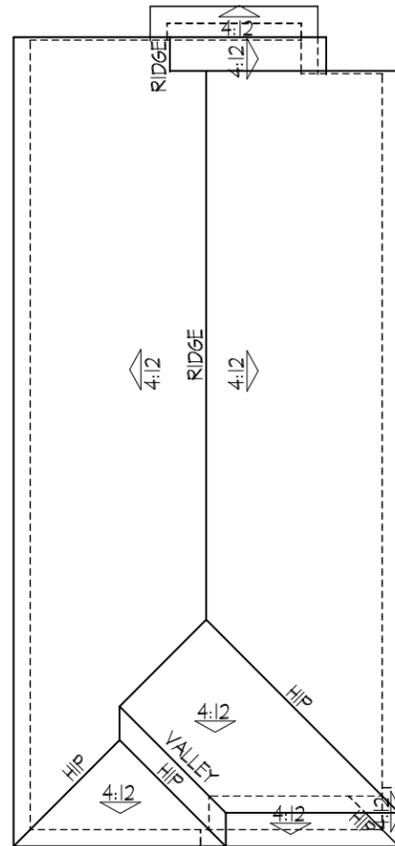
PLAN 1A – FLOOR PLAN

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.

PLAN 1 SQUARE FOOTAGE	
FIRST FLOOR	531 sq ft
SECOND FLOOR	902 sq ft
TOTAL	1433 sq ft
GARAGE	427 sq ft
PORCH	12 sq ft

FOR ARCHITECTS USE ONLY - DIMENSIONS TAKEN TO FACE OF STUDO





PLAN 1A – ROOF

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.





A - Spanish - Color Scheme 1

SPANISH COLONIAL DESIGN ENHANCEMENTS

1. Smooth finish stucco is most common; sometimes the smooth finish is over an irregular subsurface.
2. Low pitched side gable or cross-gabled roof; sometimes hipped.
3. Front porches.
4. Arches above principal windows and doors are common.
5. Roofline is integral to the style's character, multiple intersecting roof elements that complement massing.

CRAFTSMAN DESIGN ENHANCEMENTS

1. Light lace to smooth stucco, clapboard or siding w/stone or wainscoting.
2. Roof pitches vary from 4:12 to 8:12. Shallow Pitches are most common.
3. Decorative beams, braces, struts and corbels under gables.
4. Roof rafter tails exposed at eaves.
5. Porch columns or piers with sloping (battered) sides.
6. Windows are vertically proportioned and may be place together in groups of three or more.



B - Craftsman - Color Scheme 4

TUSCAN DESIGN ENHANCEMENTS

1. Fine steel-toweled or smooth stucco textured façade w/stone or brick.
2. Clay roof tiles; sometimes stacked randomly.
3. Rough-sawn fascia boards or rough-sawn rafter tails.
4. Sloped roofed porches or bracketed shed roofs over entry points.
5. Rustic wood shutters hinged at top headers or anchored at sides of jambs.

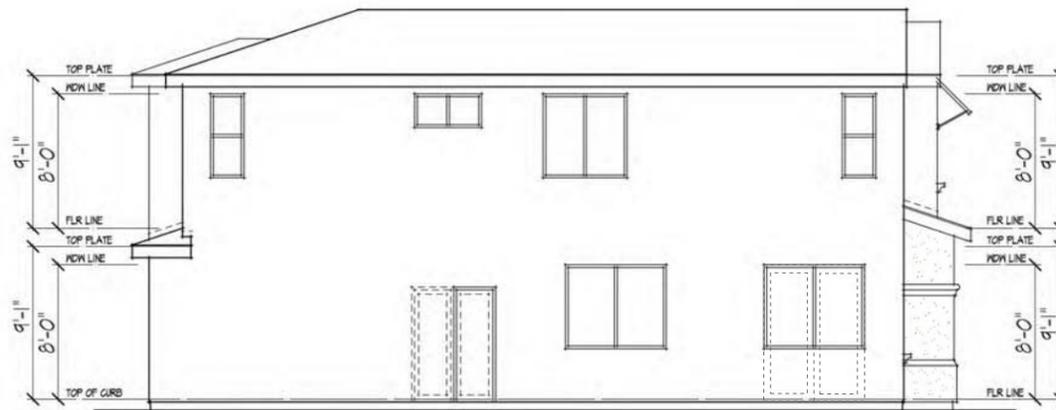


C - Tuscan - Color Scheme 7

PLAN 1 - ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.

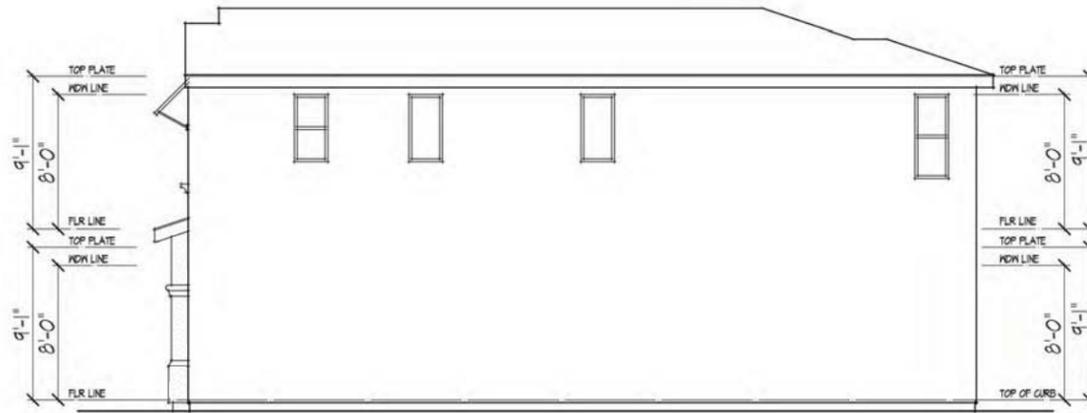




LEFT ELEVATION A



FRONT ELEVATION A



RIGHT ELEVATION A



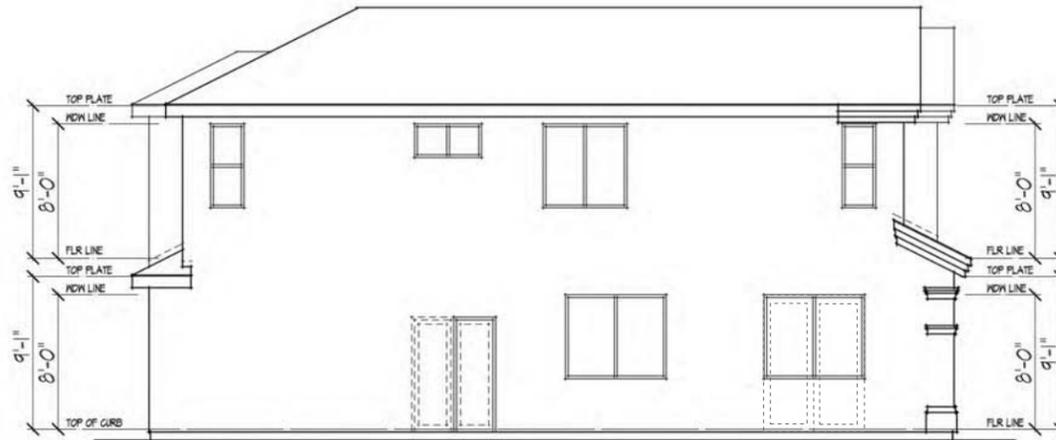
REAR ELEVATION A

DESIGN SUBMITTAL PHASE

PLAN 1— ELEVATIONS
 Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.



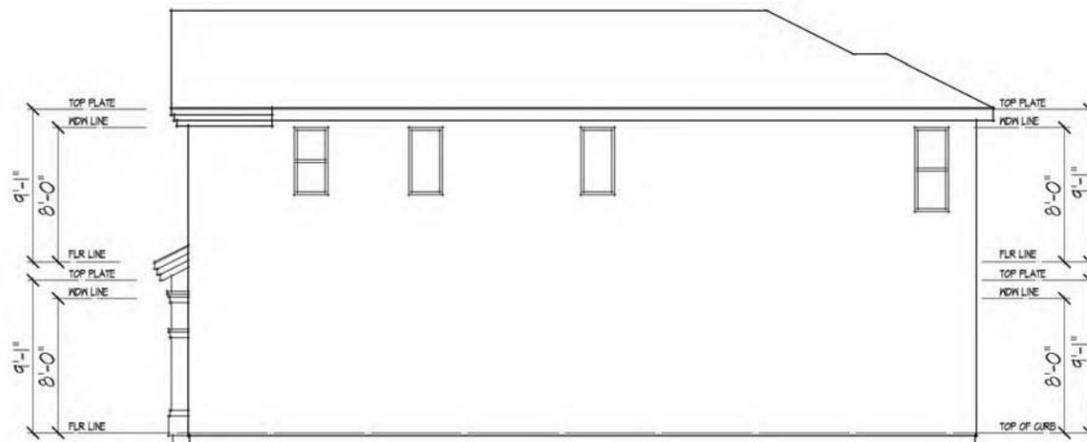
15036 - PCB MOORPARK II
KPI inc.
 KNITTER PARTNERS
 INTERNATIONAL, INC.
 architecture & planning
 1401 DOVE ST. SUITE 240
 NEWPORT BEACH, CA 92660
 PHONE: (949) 752-1177
 FAX: (949) 752-0151
 WWW.KNITTER.COM



LEFT ELEVATION B



FRONT ELEVATION B



RIGHT ELEVATION B



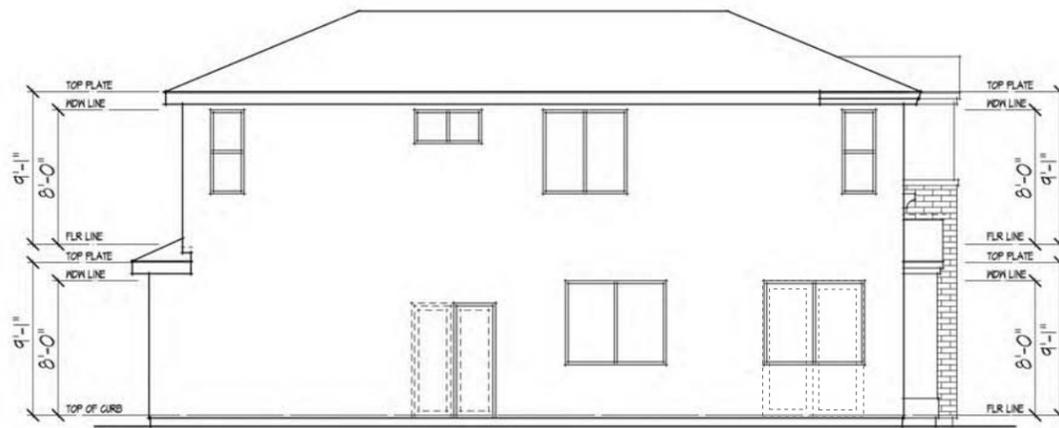
REAR ELEVATION B

DESIGN SUBMITTAL PHASE

PLAN 1— ELEVATIONS
 Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.



15036 - PCB MOORPARK II
KPI inc.
 KNITTER PARTNERS
 INTERNATIONAL, INC.
 architecture & planning
 1401 DOVE ST. SUITE 240
 NEWPORT BEACH, CA 92660
 PHONE: (949) 752-1177
 FAX: (949) 752-0151
 WWW.KNITTER.COM

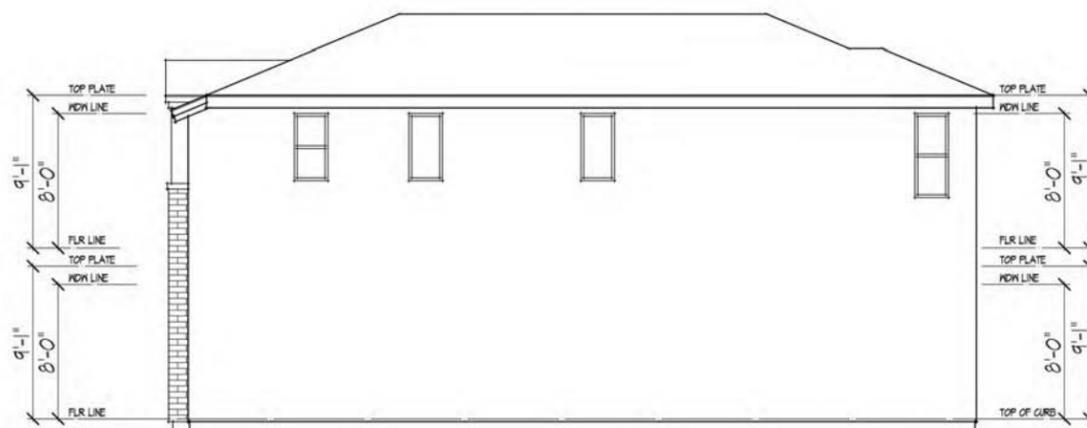


LEFT ELEVATION

C



FRONT ELEVATION C



RIGHT ELEVATION

C



REAR ELEVATION C

DESIGN SUBMITTAL PHASE

PLAN 1— ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.

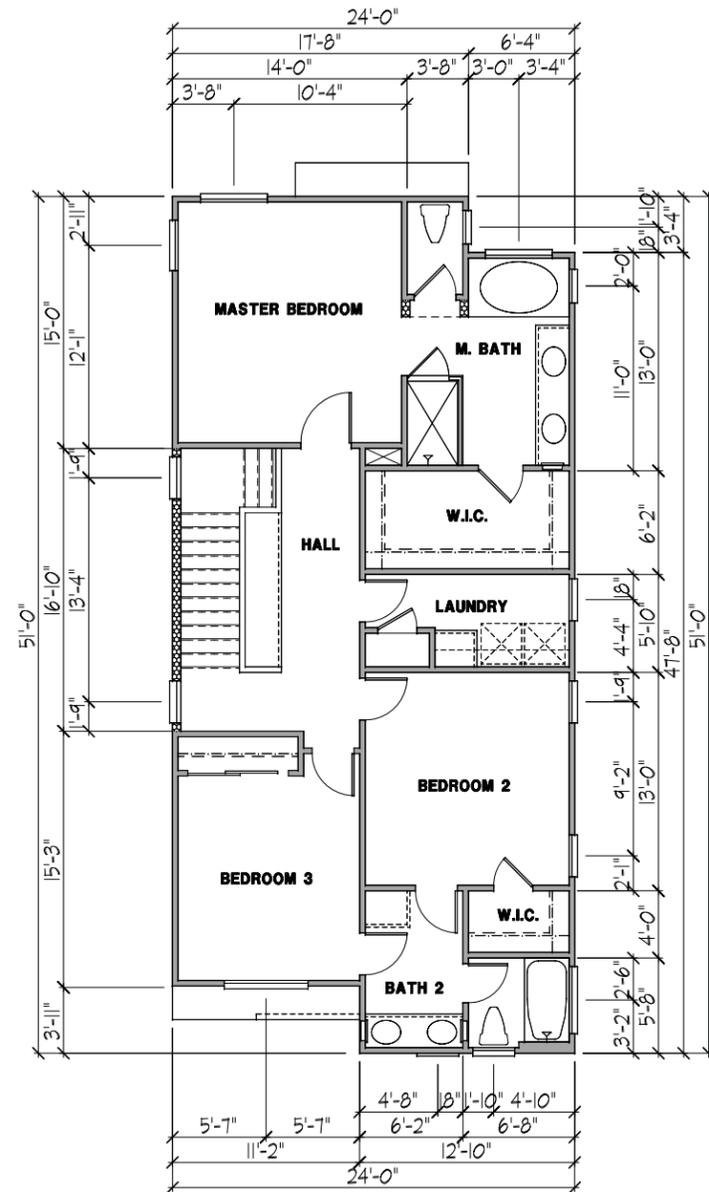


15038 - PCB MOORPARK II

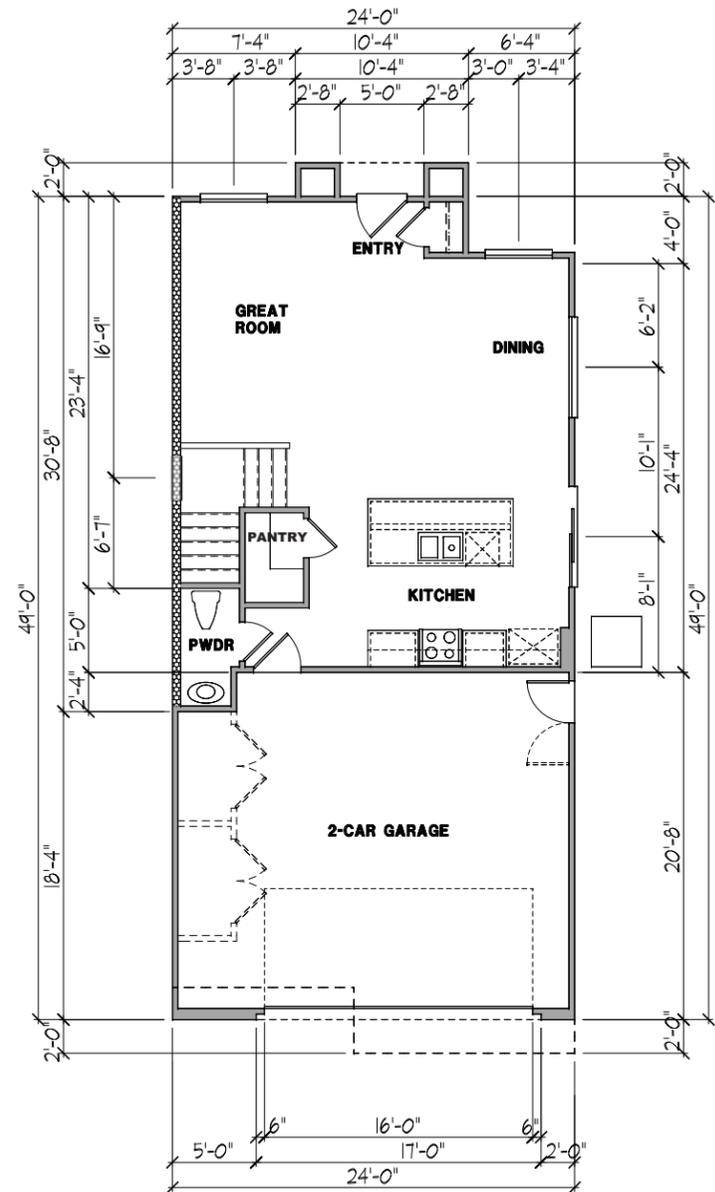


KNITTER PARTNERS
 INTERNATIONAL, INC.
 architecture & planning

1401 DOVE ST. SUITE 240
 NEWPORT BEACH, CA 92660
 PHONE: (949) 752-1177
 FAX: (949) 752-0151
 WWW.KNITTER.COM



SECOND FLOOR



FIRST FLOOR

PLAN 2A – FLOOR PLAN

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.

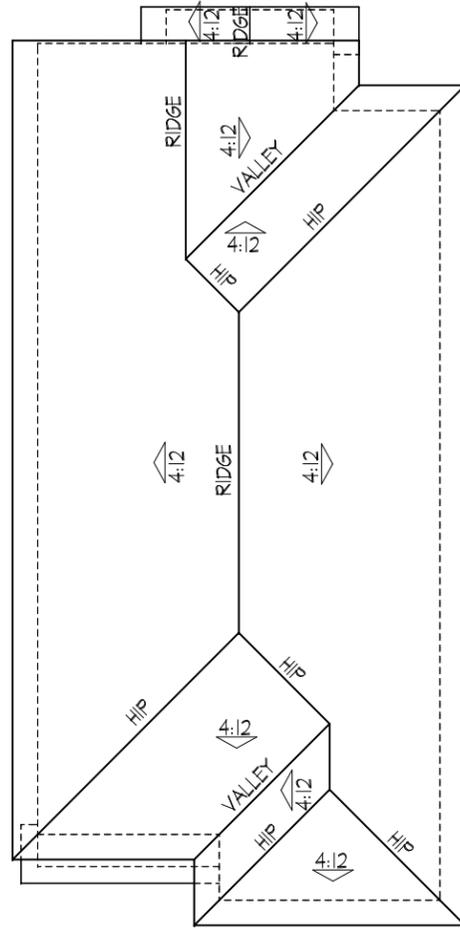
PLAN 2 SQUARE FOOTAGE	
FIRST FLOOR	668 sq ft
SECOND FLOOR	1099 sq ft
TOTAL	1767 sq ft
GARAGE	479 sq ft

FOR ARCHITECTS USE ONLY - DIMENSIONS TAKEN TO FACE OF STUD



DESIGN SUBMITTAL PHASE

15036 - PCB MOORPARK II
KPI
 KNITTER PARTNERS
 INTERNATIONAL, INC.
 architecture & planning
 1401 DOVE ST., SUITE 240
 NEWPORT BEACH, CA 92660
 PHONE: (949) 752-1177
 FAX: (949) 752-0151
 WWW.KNITTER.COM



PLAN 2A – ROOF

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.





A - Spanish - Color Scheme 2

SPANISH COLONIAL DESIGN ENHANCEMENTS

1. Smooth finish stucco is most common; sometimes the smooth finish is over an irregular subsurface.
2. Low pitched side gable or cross-gabled roof; sometimes hipped.
3. Front porches.
4. Arches above principal windows and doors are common.
5. Roofline is integral to the style's character, multiple intersecting roof elements that complement massing.

CRAFTSMAN DESIGN ENHANCEMENTS

1. Light lace to smooth stucco, clapboard or siding w/stone or wainscoting.
2. Roof pitches vary from 4:12 to 8:12. Shallow Pitches are most common.
3. Decorative beams, braces, struts and corbels under gables.
4. Roof rafter tails exposed at eaves.
5. Porch columns or piers with sloping (battered) sides.
6. Windows are vertically proportioned and may be place together in groups of three or more.



B - Craftsman - Color Scheme 5

TUSCAN DESIGN ENHANCEMENTS

1. Fine steel-toweled or smooth stucco textured façade w/stone or brick.
2. Clay roof tiles; sometimes stacked randomly.
3. Rough-sawn fascia boards or rough- sawn rafter tails.
4. Sloped roofed porches or bracketed shed roofs over entry points.
5. Rustic wood shutters hinged at top headers or anchored at sides of jambs.



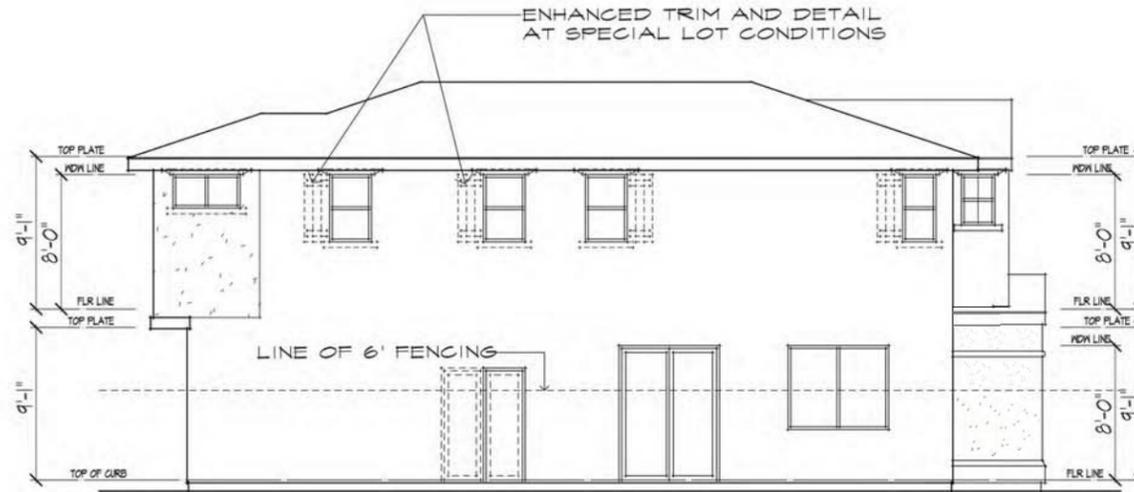
C - Tuscan - Color Scheme 8

DESIGN SUBMITTAL PHASE

PLAN 2 - ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.





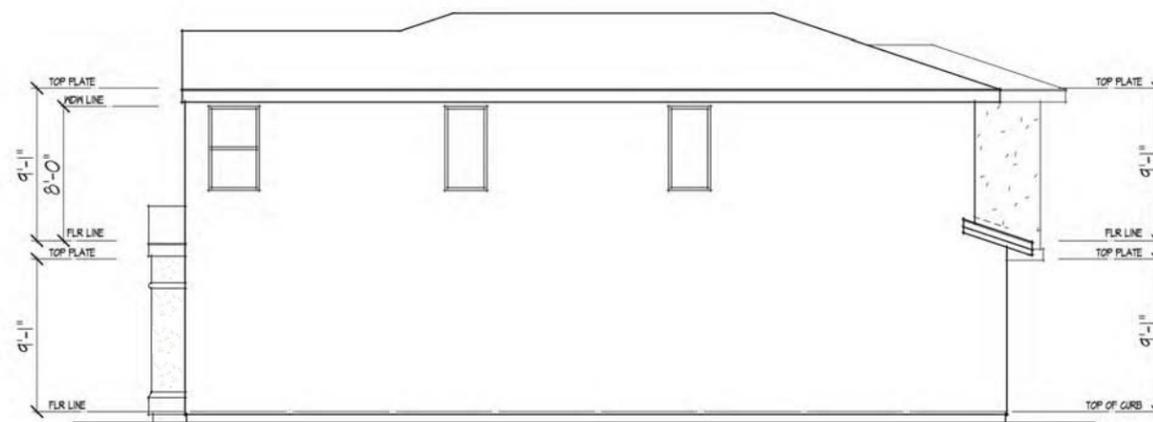
LEFT ELEVATION

A



FRONT ELEVATION

A



RIGHT ELEVATION

A



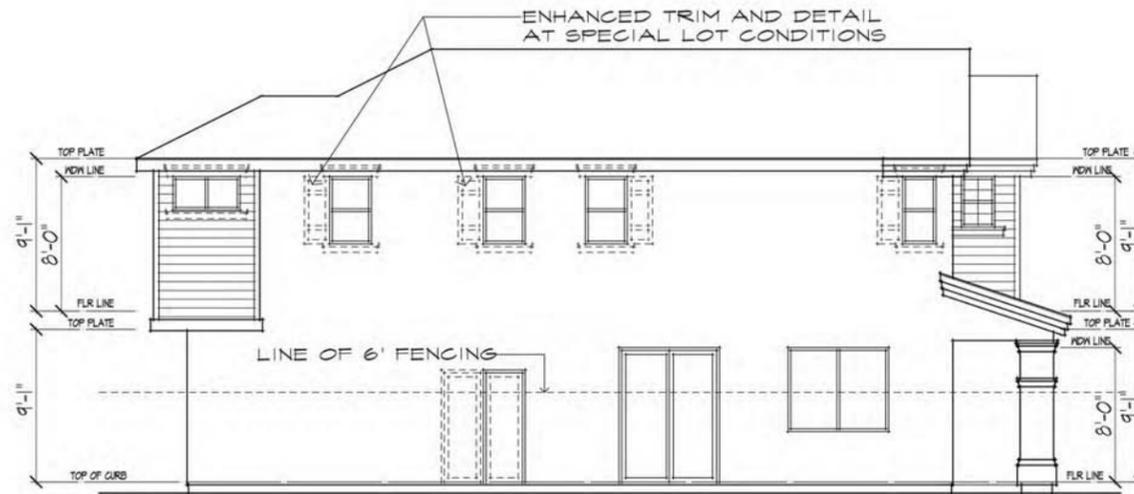
REAR ELEVATION

A

PLAN 2— ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.



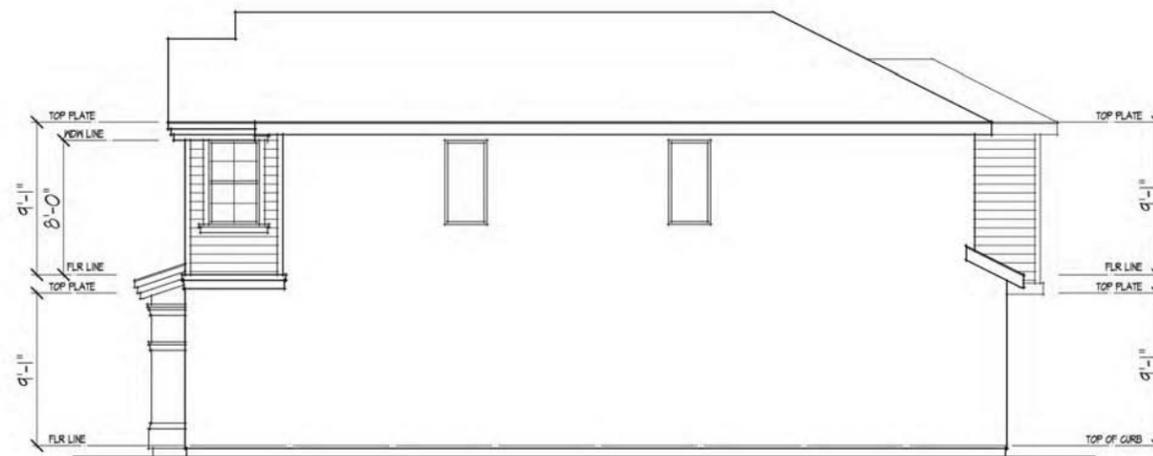


LEFT ELEVATION

B



FRONT ELEVATION B



RIGHT ELEVATION

B



REAR ELEVATION B

PLAN 2— ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.





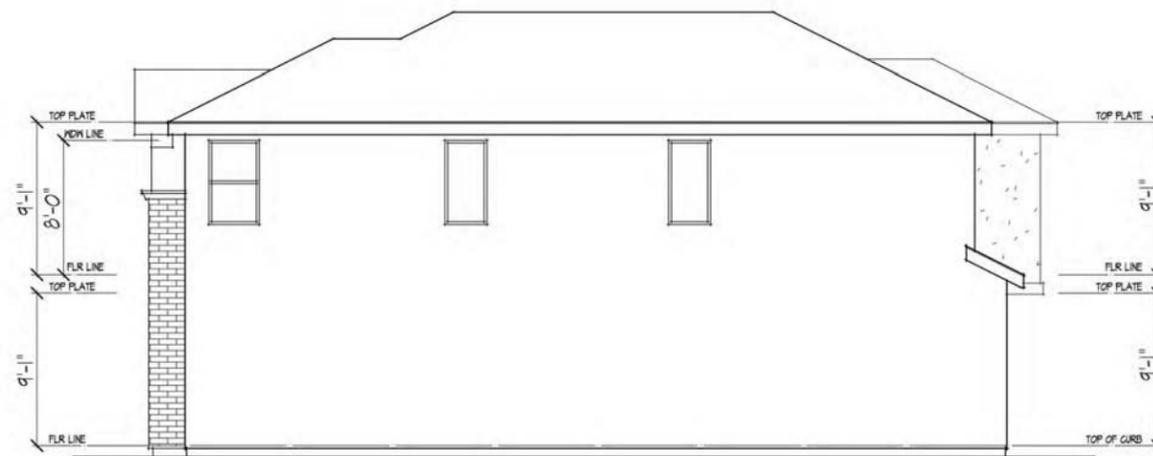
LEFT ELEVATION

C



FRONT ELEVATION

C



RIGHT ELEVATION

C



REAR ELEVATION

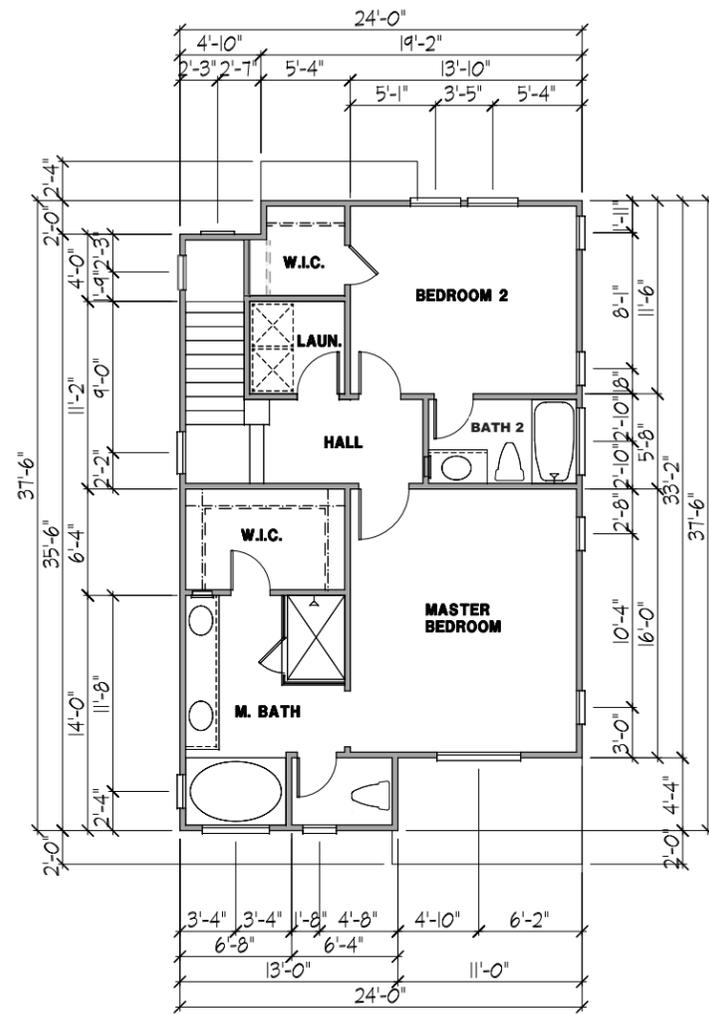
C

DESIGN SUBMITTAL PHASE

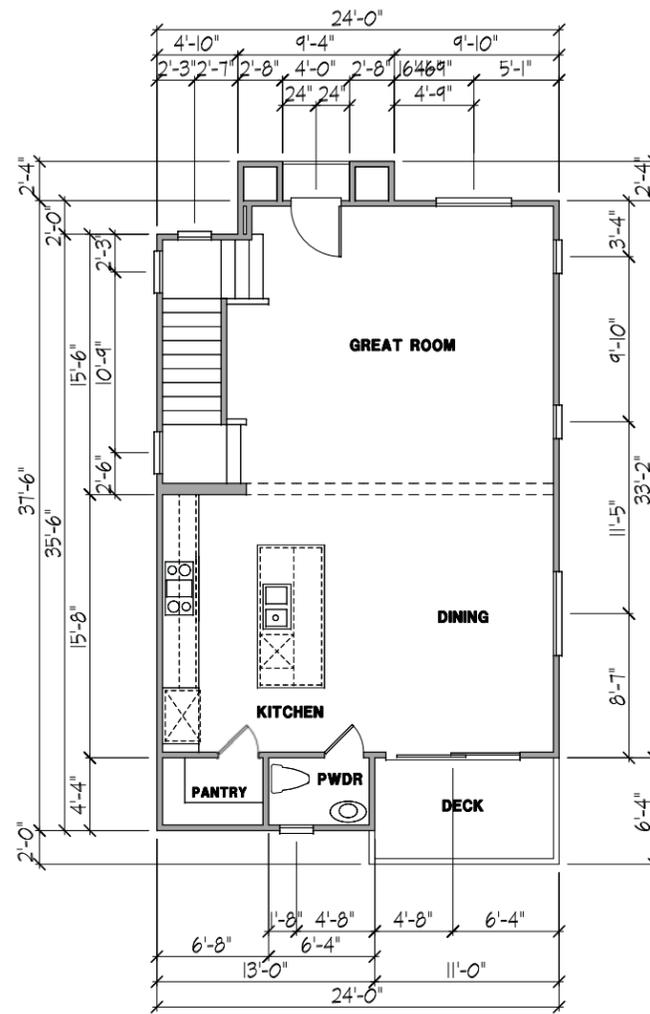
PLAN 2— ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.

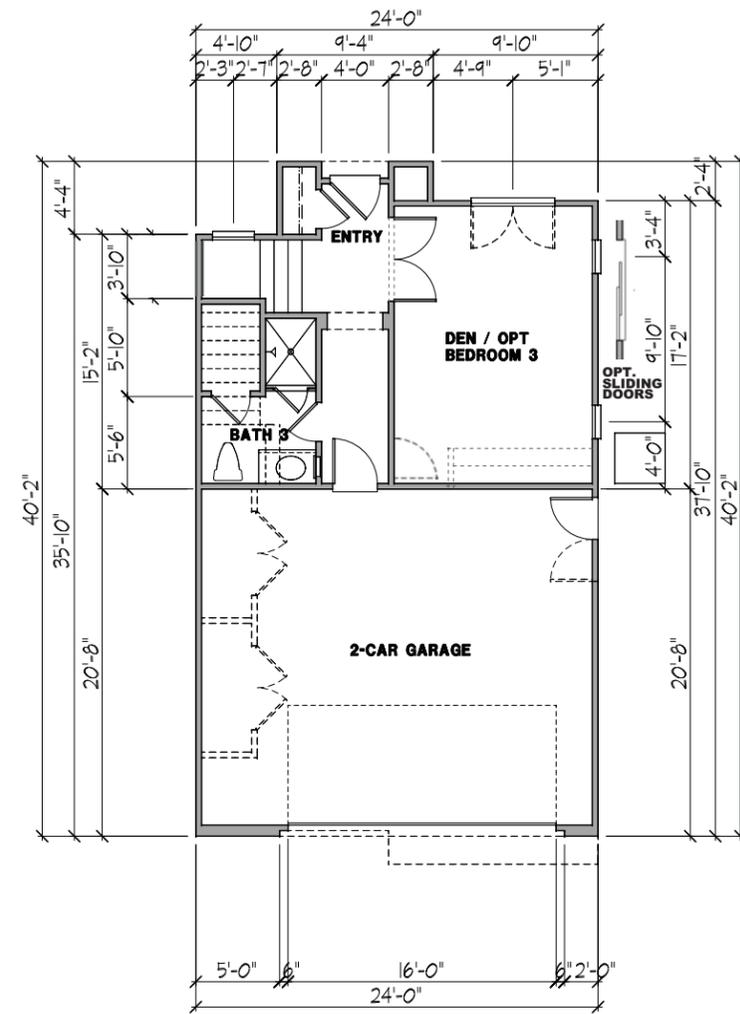




THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

PLAN 3 – FLOOR PLAN

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.

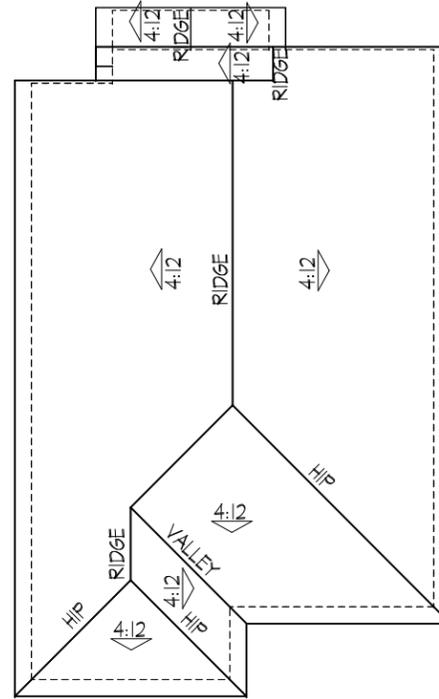
PLAN 3 SQUARE FOOTAGE	
FIRST FLOOR	414 sq ft
SECOND FLOOR	773 sq ft
THIRD FLOOR	797 sq ft
TOTAL	1984 sq ft
GARAGE	488 sq ft
DECK	70 sq ft
<small>FOR ARCHITECTS USE ONLY - DIMENSIONS TAKEN TO FACE OF STUDS</small>	



DESIGN SUBMITTAL PHASE

15036 - PCB MOORPARK II
KPI
 KNITTER PARTNERS
 INTERNATIONAL, INC.
 architecture & planning

1401 DOVE ST. SUITE 240
 NEWPORT BEACH, CA 92660
 PHONE: (949) 752-1177
 FAX: (949) 752-0151
 WWW.KNITTER.COM



PLAN 3A — ROOF

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.





A - Spanish - Color Scheme 3



C - Tuscan - Color Scheme 9

SPANISH COLONIAL DESIGN ENHANCEMENTS

1. Smooth finish stucco is most common; sometimes the smooth finish is over an irregular subsurface.
2. Low pitched side gable or cross-gabled roof; sometimes hipped.
3. Front porches.
4. Arches above principal windows and doors are common.
5. Roofline is integral to the style's character, multiple intersecting roof elements that complement massing.

CRAFTSMAN DESIGN ENHANCEMENTS

1. Light lace to smooth stucco, clapboard or siding w/stone or wainscoting.
2. Roof pitches vary from 4:12 to 8:12. Shallow Pitches are most common.
3. Decorative beams, braces, struts and corbels under gables.
4. Roof rafter tails exposed at eaves.
5. Porch columns or piers with sloping (battered) sides.
6. Windows are vertically proportioned and may be place together in groups of three or more.

TUSCAN DESIGN ENHANCEMENTS

1. Fine steel-toweled or smooth stucco textured façade w/stone or brick.
2. Clay roof tiles; sometimes stacked randomly.
3. Rough-sawn fascia boards or rough-sawn rafter tails.
4. Sloped roofed porches or bracketed shed roofs over entry points.
5. Rustic wood shutters hinged at top headers or anchored at sides of jambs.



B - Craftsman - Color Scheme 6

DESIGN SUBMITTAL PHASE

PLAN 3 - ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.

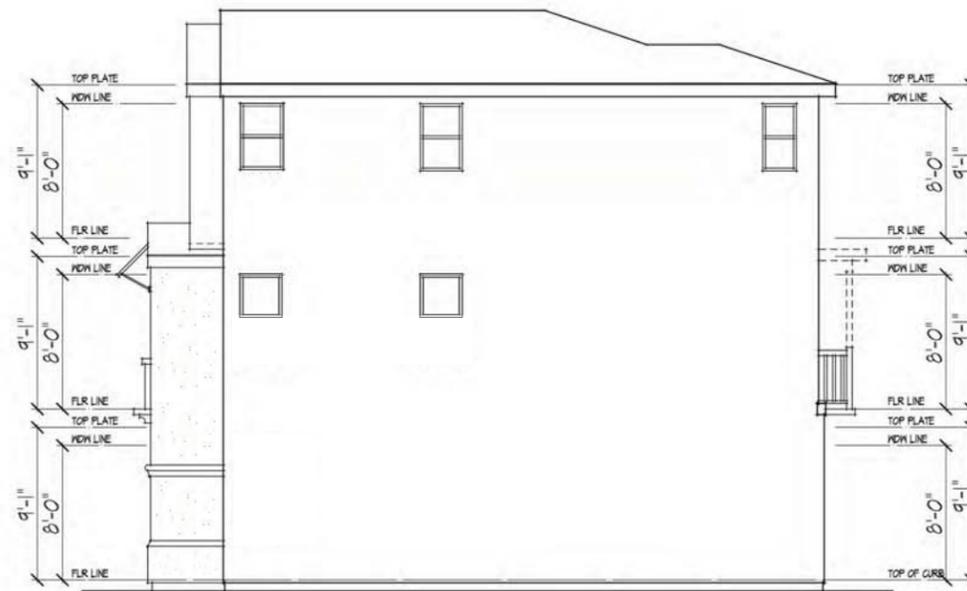




LEFT ELEVATION A



FRONT ELEVATION A



RIGHT ELEVATION A



REAR ELEVATION A

PLAN 3— ELEVATIONS
 Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.

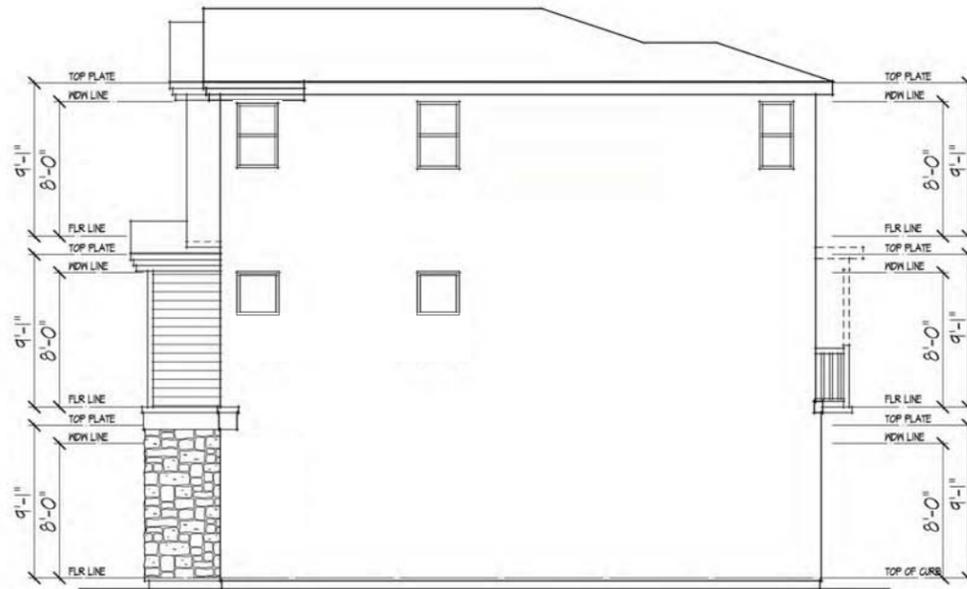




LEFT ELEVATION B



FRONT ELEVATION B



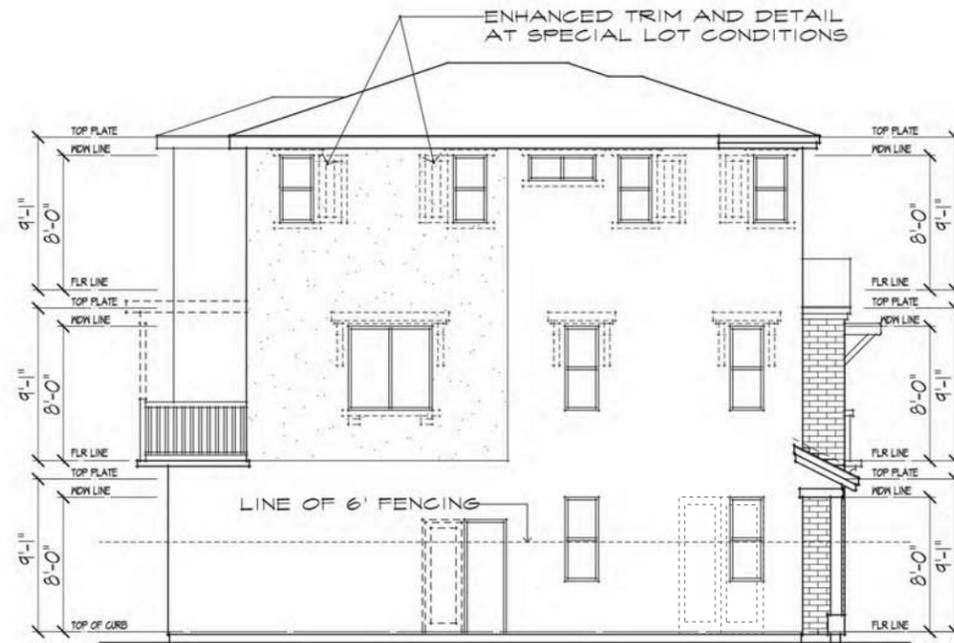
LEFT ELEVATION B



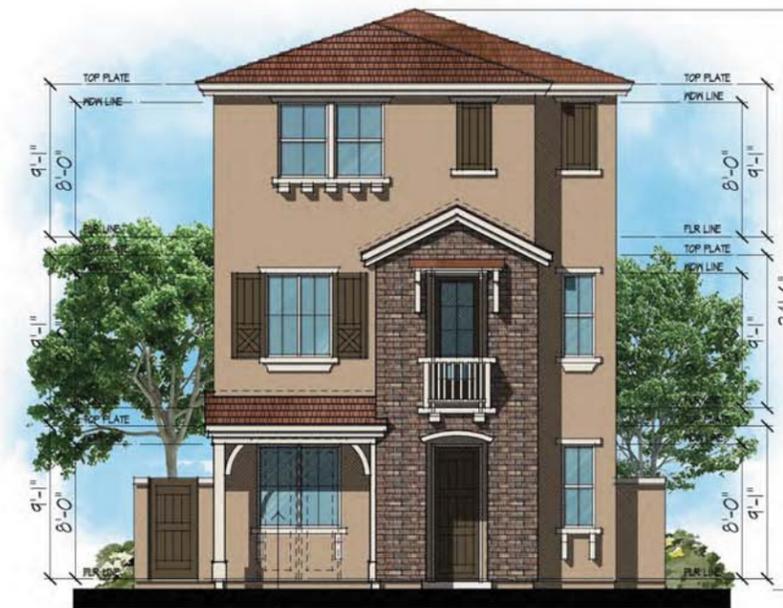
FRONT ELEVATION B

PLAN 3— ELEVATIONS
 Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.

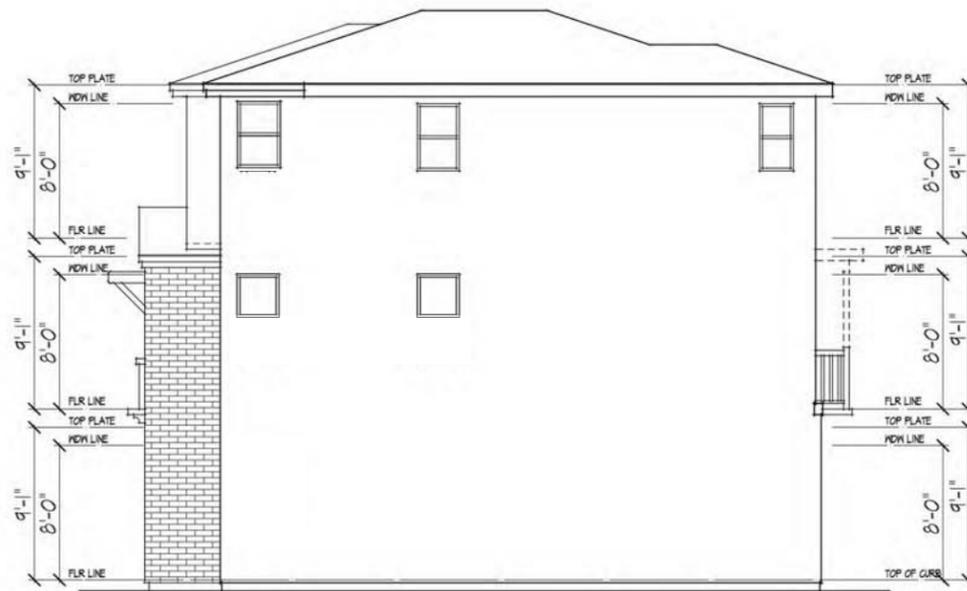




LEFT ELEVATION C



FRONT ELEVATION C



RIGHT ELEVATION C

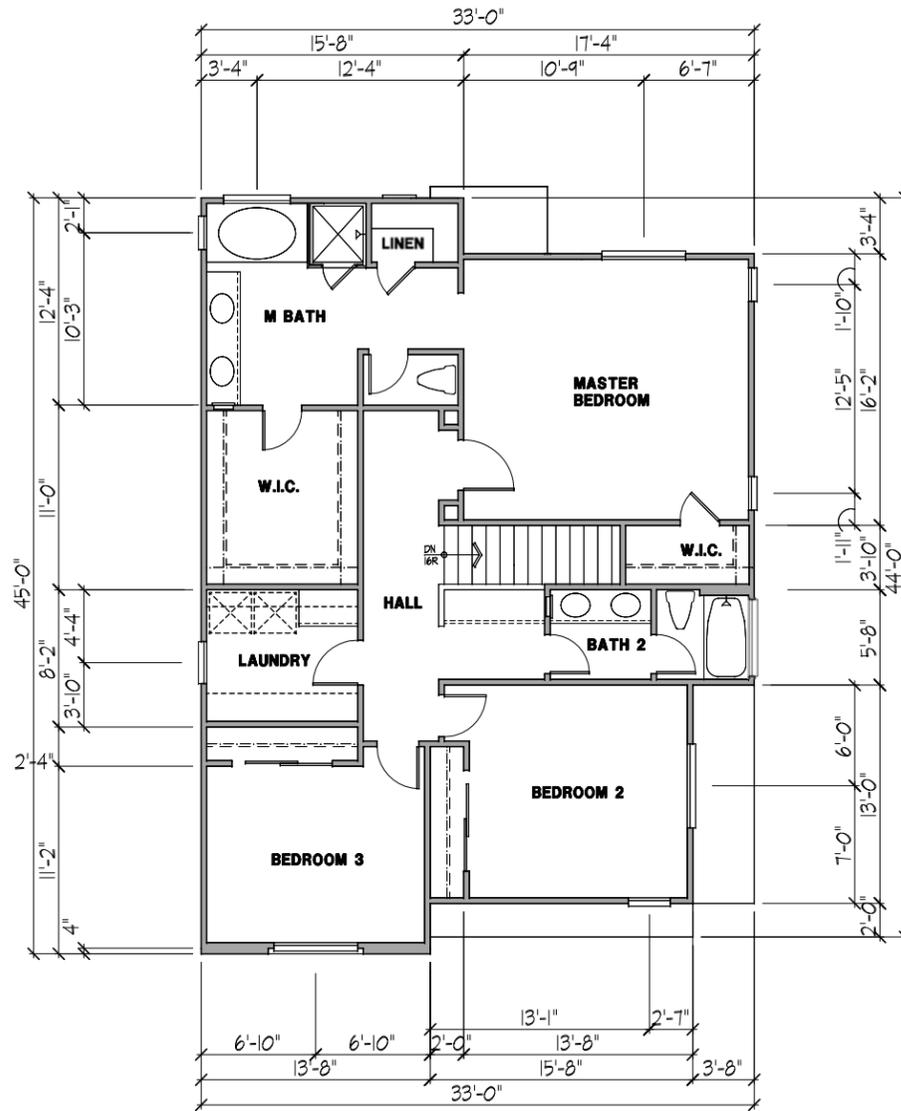


REAR ELEVATION C

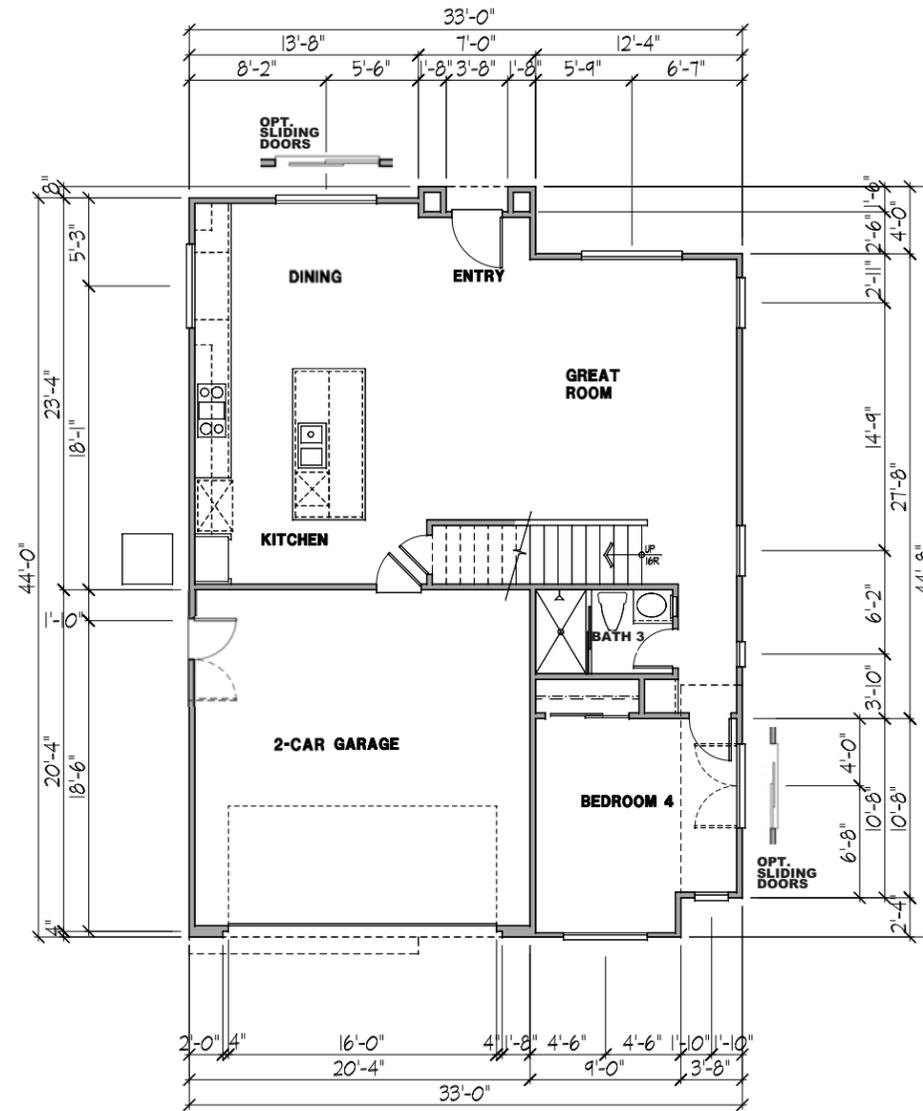
PLAN 3— ELEVATIONS
 Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.



DESIGN SUBMITTAL PHASE



SECOND FLOOR



FIRST FLOOR

PLAN 4	
SQUARE FOOTAGE	
FIRST FLOOR	975 sq ft
SECOND FLOOR	1280 sq ft
TOTAL	2255 sq ft
GARAGE	413 sq ft
PORCH	4 sq ft

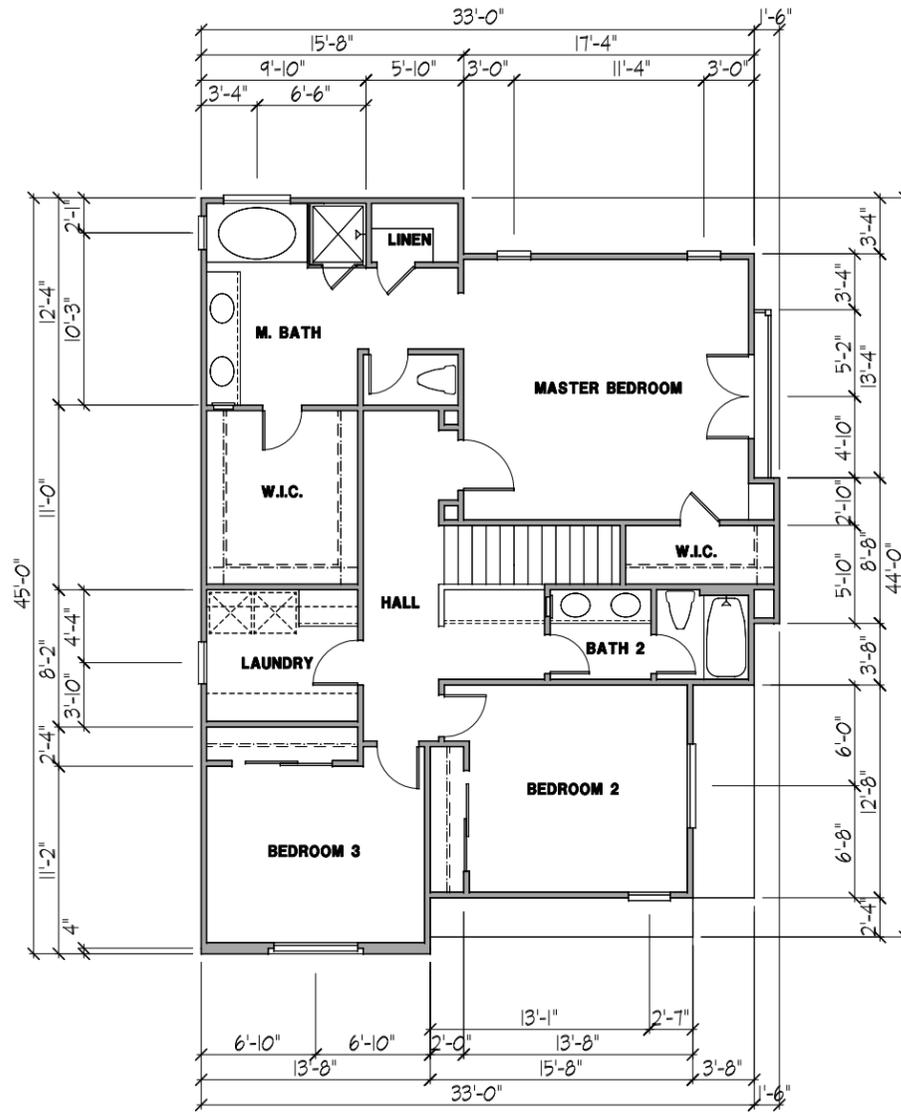
FOR ARCHITECTS USE ONLY - DIMENSIONS TAKEN TO FACE OF STUD

PLAN 4 – FLOOR PLAN

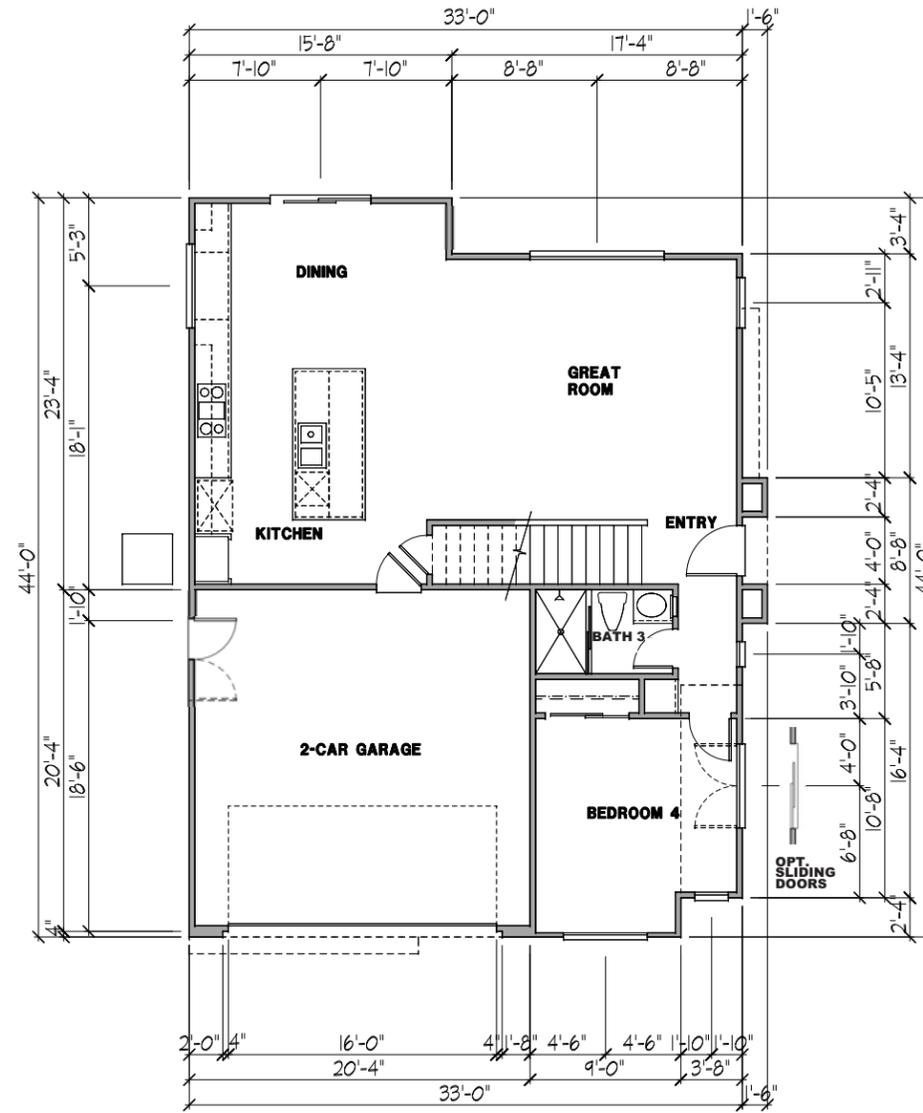
Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.



DESIGN SUBMITTAL PHASE



SECOND FLOOR



FIRST FLOOR

PLAN 4X SQUARE FOOTAGE	
FIRST FLOOR	965 sq ft
SECOND FLOOR	1290 sq ft
TOTAL	2255 sq ft
GARAGE	413 sq ft

FOR ARCHITECTS USE ONLY - DIMENSIONS TAKEN TO FACE OF STUD

PLAN 4X – FLOOR PLAN

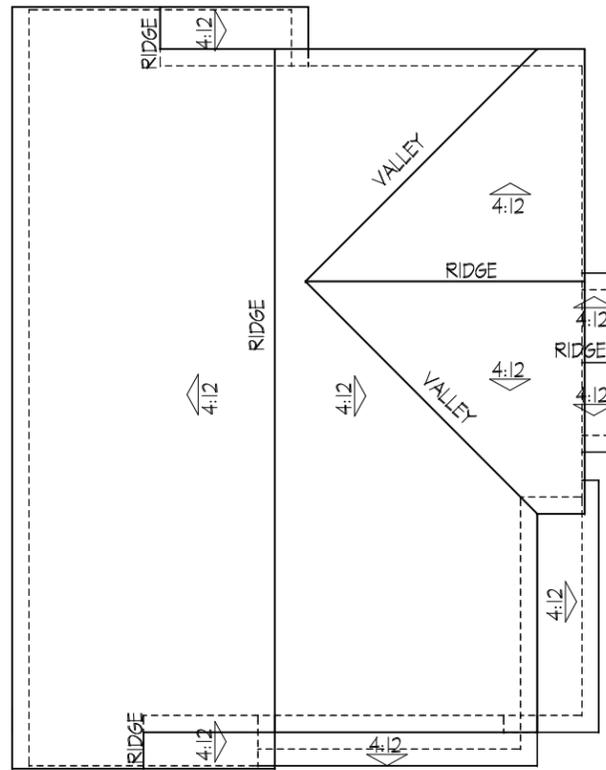
Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.



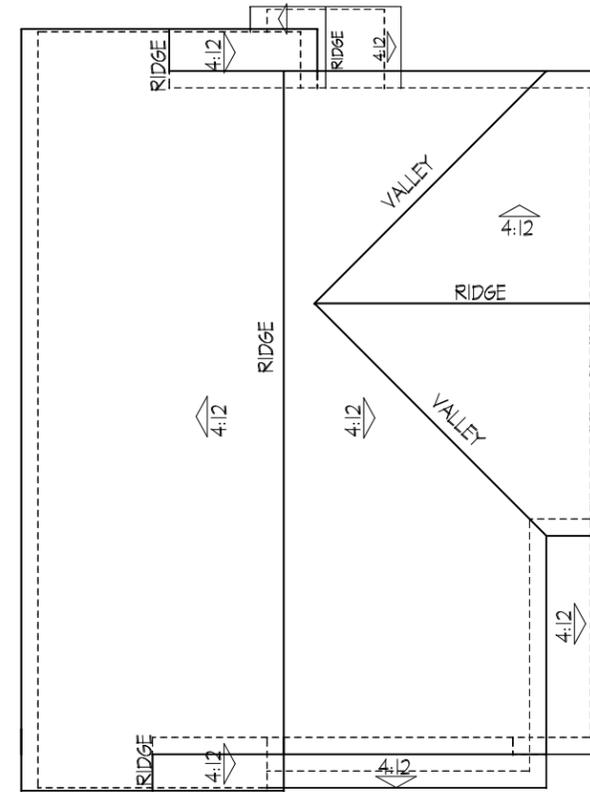
12/11/2015

DESIGN SUBMITTAL PHASE

15036 - PCB MOORPARK II
KPI
 KNITTER PARTNERS
 INTERNATIONAL, INC.
 architecture & planning
 1401 DOVE ST, SUITE 240
 NEWPORT BEACH, CA 92660
 PHONE: (949) 752-1177
 FAX: (949) 752-0151
 WWW.KNITTER.COM



PLAN 4X – ROOF



PLAN 4 – ROOF

PLAN 4 – ROOF

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.





A - Spanish - Color Scheme 1

SPANISH COLONIAL DESIGN ENHANCEMENTS

1. Smooth finish stucco is most common; sometimes the smooth finish is over an irregular subsurface.
2. Low pitched side gable or cross-gabled roof; sometimes hipped.
3. Front porches.
4. Arches above principal windows and doors are common.
5. Roofline is integral to the style's character, multiple intersecting roof elements that complement massing.

CRAFTSMAN DESIGN ENHANCEMENTS

1. Light lace to smooth stucco, clapboard or siding w/stone or wainscoting.
2. Roof pitches vary from 4:12 to 8:12. Shallow Pitches are most common.
3. Decorative beams, braces, struts and corbels under gables.
4. Roof rafter tails exposed at eaves.
5. Porch columns or piers with sloping (battered) sides.
6. Windows are vertically proportioned and may be place together in groups of three or more.



B - Craftsman - Color Scheme 4



C - Tuscan - Color Scheme 7

TUSCAN DESIGN ENHANCEMENTS

1. Fine steel-toweled or smooth stucco textured façade w/stone or brick.
2. Clay roof tiles; sometimes stacked randomly.
3. Rough-sawn fascia boards or rough- sawn rafter tails.
4. Sloped roofed porches or bracketed shed roofs over entry points.
5. Rustic wood shutters hinged at top headers or anchored at sides of jambs.

PLAN 4 - ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.





A - Spanish - Color Scheme 1

SPANISH COLONIAL DESIGN ENHANCEMENTS

1. Smooth finish stucco is most common; sometimes the smooth finish is over an irregular subsurface.
2. Low pitched side gable or cross-gabled roof; sometimes hipped.
3. Front porches.
4. Arches above principal windows and doors are common.
5. Roofline is integral to the style's character, multiple intersecting roof elements that complement massing.

CRAFTSMAN DESIGN ENHANCEMENTS

1. Light lace to smooth stucco, clapboard or siding w/stone or wainscoting.
2. Roof pitches vary from 4:12 to 8:12. Shallow Pitches are most common.
3. Decorative beams, braces, struts and corbels under gables.
4. Roof rafter tails exposed at eaves.
5. Porch columns or piers with sloping (battered) sides.
6. Windows are vertically proportioned and may be place together in groups of three or more.



B - Craftsman - Color Scheme 4

TUSCAN DESIGN ENHANCEMENTS

1. Fine steel-toweled or smooth stucco textured façade w/stone or brick.
2. Clay roof tiles; sometimes stacked randomly.
3. Rough-sawn fascia boards or rough- sawn rafter tails.
4. Sloped roofed porches or bracketed shed roofs over entry points.
5. Rustic wood shutters hinged at top headers or anchored at sides of jambs.



C - Tuscan - Color Scheme 7

PLAN 4X - ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.





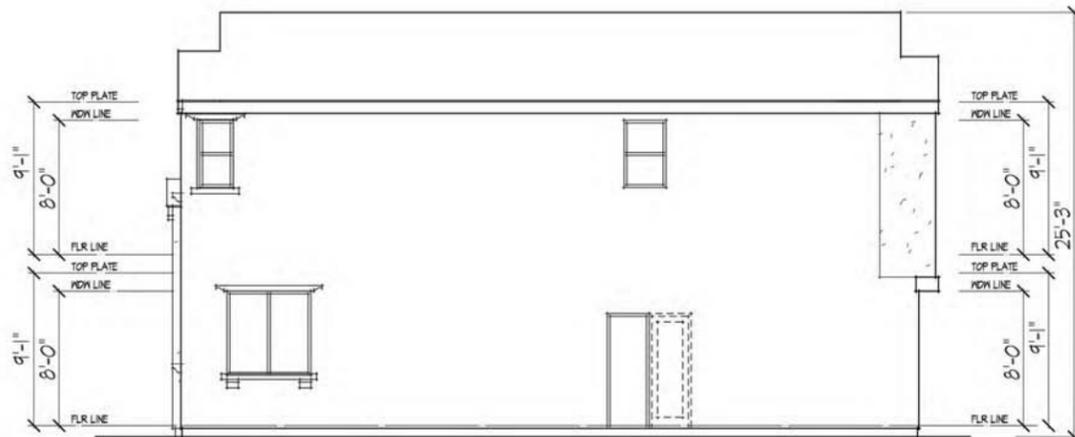
LEFT ELEVATION

A



FRONT ELEVATION

A



RIGHT ELEVATION

A



REAR ELEVATION

A

PLAN 4— ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.

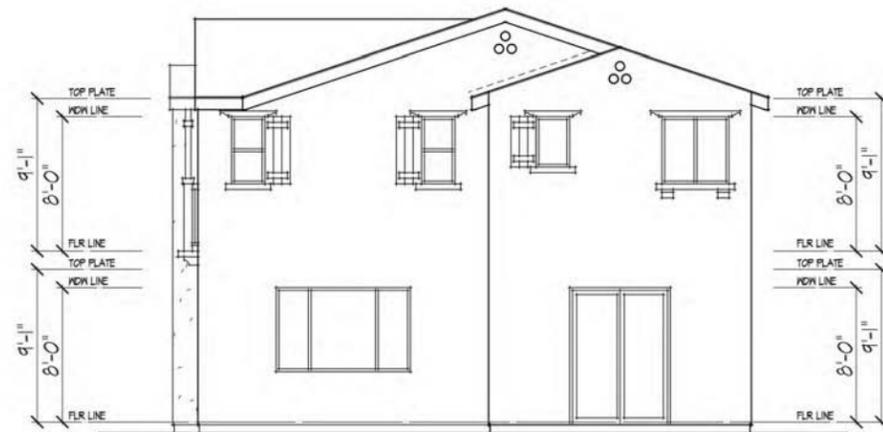




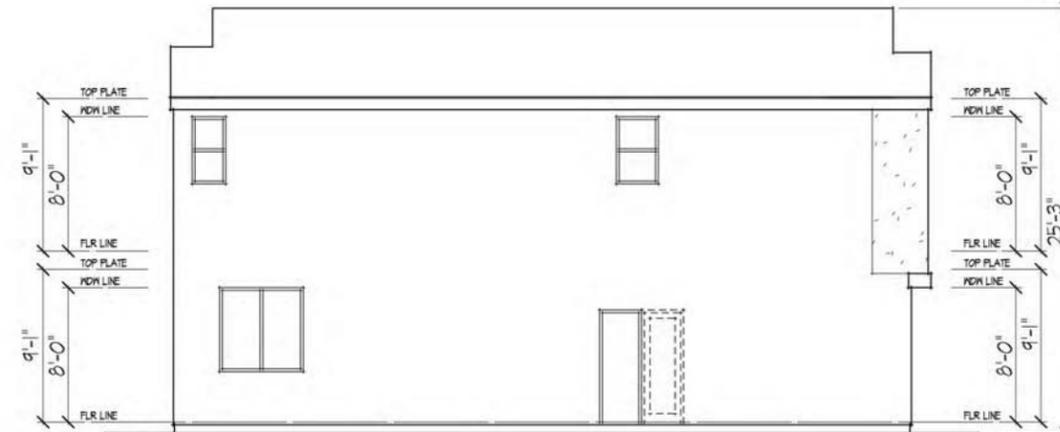
LEFT ELEVATION **A**



FRONT ELEVATION **A**



RIGHT ELEVATION **A**



REAR ELEVATION **A**

PLAN 4X – ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.





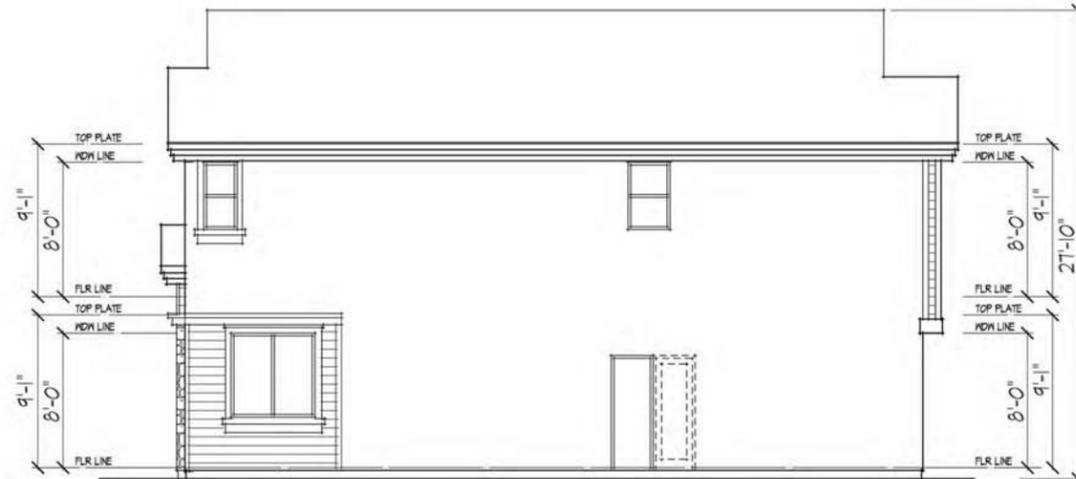
LEFT ELEVATION

B



FRONT ELEVATION

B



RIGHT ELEVATION

B



REAR ELEVATION

B

PLAN 4— ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.



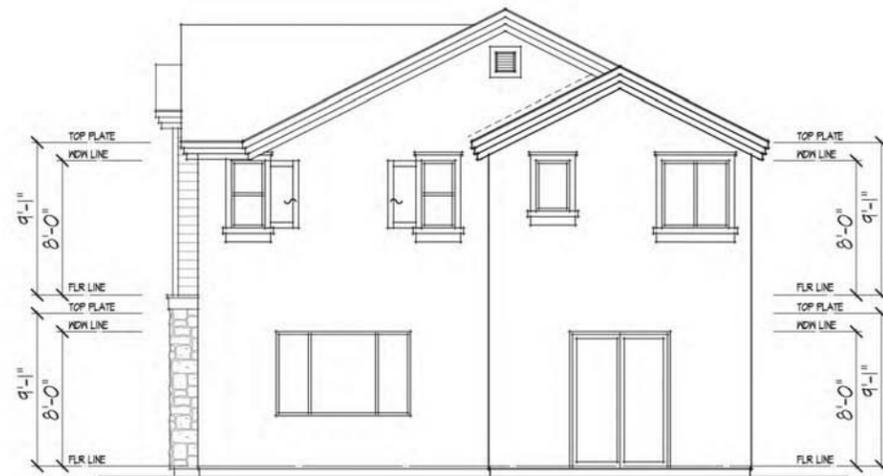


LEFT ELEVATION B

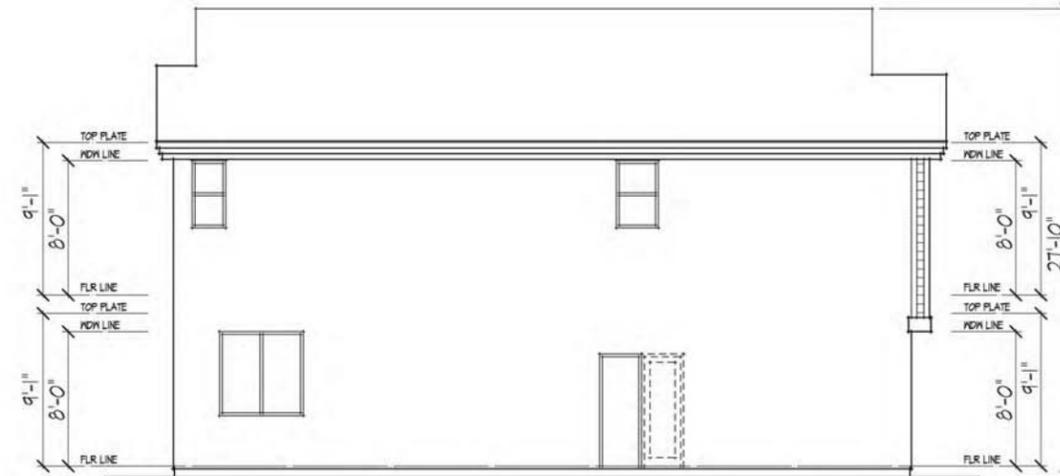


FRONT ELEVATION B

WINDOW SHOWN AS STANDARD
FRENCH DOORS SHOWN AS AN OPTION



RIGHT ELEVATION B



REAR ELEVATION B

DESIGN SUBMITTAL PHASE

PLAN 4X – ELEVATIONS

Verbena at Pacific Arroyo
SINGLE-FAMILY DETACHED CONDO
MOORPARK, CALIFORNIA
PACIFIC COMMUNITIES BUILDER, INC.





PLAN 4— ELEVATIONS

Verbena at Pacific Arroyo
 SINGLE-FAMILY DETACHED CONDO
 MOORPARK, CALIFORNIA
 PACIFIC COMMUNITIES BUILDER, INC.





LEFT ELEVATION **C**

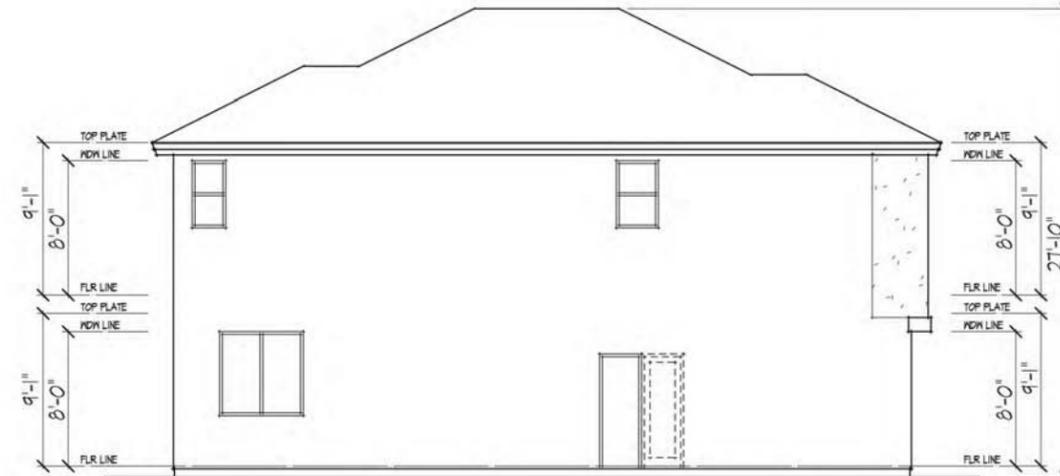


FRONT ELEVATION **C**

WINDOW SHOWN AS STANDARD & —
FRENCH DOORS SHOWN AS AN OPTION



RIGHT ELEVATION **C**



REAR ELEVATION **C**

DESIGN SUBMITTAL PHASE

PLAN 4X — ELEVATIONS

Verbena at Pacific Arroyo
SINGLE-FAMILY DETACHED CONDO
MOORPARK, CALIFORNIA
PACIFIC COMMUNITIES BUILDER, INC.





Plan 4XB

Plan 3RA

Plan 2RC

Plan 1RA

Verbena at Pacific Arroyo
Single-Family Detached
Moorpark, California
Pacific Communities Builder, Inc.

KPI Inc.
KNITTER PARTNERS
INTERNATIONAL, INC.
architecture & planning

1401 DOVE ST. SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (949) 752-1177
FAX: (949) 752-0151
WWW.KNITTER.COM

*KNITTER PARTNERS INTERNATIONAL, INC.
ALL RIGHTS RESERVED 2015.

15036

07/18/2017