



HITCH RANCH

Specific Plan | March 2020





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Chapter 1

INTRODUCTION

1.1 PURPOSE OF THE SPECIFIC PLAN

The Hitch Ranch Specific Plan (“Specific Plan No. 2019-01”) provides the City of Moorpark with a comprehensive planning document to direct the orderly development of the 270-acre property known as Hitch Ranch (see Figure 1-1). The Specific Plan provides a conceptual land use plan, regulations, guidelines and programs to ensure that this area of the city is developed in a manner consistent with the goals, objectives, principles and policies of the City of Moorpark General Plan (referred to in this document as the General Plan).

The Specific Plan allows development of a variety of residential, recreational, and public uses within the Specific Plan area. The regulations and guidelines contained in this Specific Plan will ensure that these uses and the associated infrastructure elements and public spaces are planned and designed in an integrated manner.



1.2 AUTHORITY AND SCOPE

California Government Code (Sections 65450 through 65457) and the City of Moorpark Municipal Code (Chapter 17.16.070) authorize the preparation and adoption of specific plans. The Hitch Ranch Specific Plan has been prepared in accordance with the requirements of these codes as summarized in the following pages.

1.2.1 California Government Code Compliance

California Government Code Section 65450 gives a legislative body the authority to prepare a specific plan for the systematic implementation of the General Plan for all or part of the area covered by the General Plan. As outlined in the Government Code Sections 65451-65452, specific plans are to contain a text and diagram or diagrams specifying the following:

The italicized text indicates where in Specific Plan No. 1 these requirements have been addressed.

- The distribution, location, and extent of land uses. *The goals of the proposed Specific Plan, as defined in Section 1.4, provide the background for the proposed land uses and their distribution throughout the project site. Section 2.1 contains a detailed land-use table (Table 2-1) and a Land Use Plan (Figure 2-1). The project includes 755 residential units, public parkland, recreation areas, open space and stormwater detention basin/ open space areas;*
- The distribution, location, and extent of major infrastructure improvements needed to support the land uses described in the plan. *Section 2.2 describes the circulation plan for the site, including street sections. Domestic water, wastewater and storm water infrastructure as well as utilities are outlined in Section 3.2 of the proposed Specific Plan. (A detailed infrastructure plan will be prepared as a part of the Tentative Tract Map process);*

- Development standards and criteria. *The Specific Plan includes both Development Guidelines in Section 4 and Development Regulations in Section 5. Section 6 identifies implementation measures including phasing, funding and administration for this Specific Plan;*
- A statement of the relationship of the Specific Plan to the General Plan. *Section 1.6 describes how this Specific Plan relates to the City of Moorpark General Plan; and*
- Any other subjects which are necessary or desirable for the implementation of the General Plan.

1.2.2 City of Moorpark Zoning Code Compliance

The Specific Plan (SP) zone is established in Chapter 17.12 of the City of Moorpark Municipal Code. A key function of the Specific Plan is to reduce the need for subsequent master planning and environmental review procedures as the project area is developed. The Specific Plan fixes the general layout and configuration of streets, and defines the land

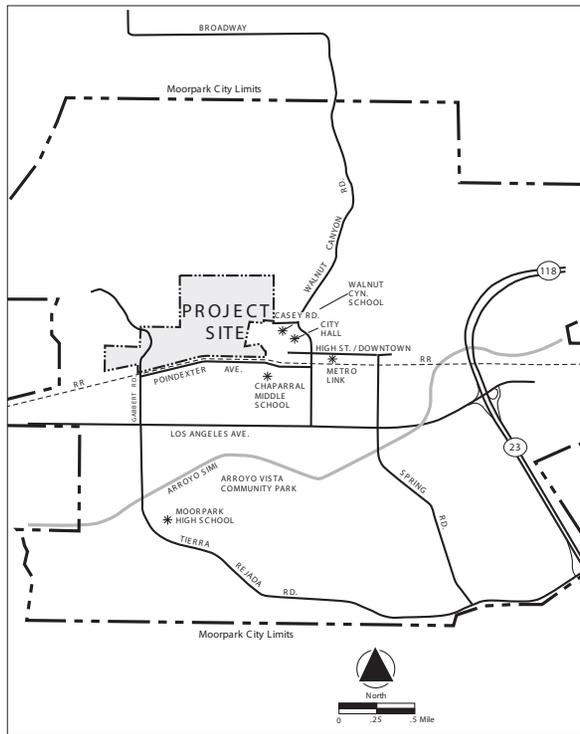


Figure 1-1: Regional Map

uses allowed in the Specific Plan area. At the time of subdivision of land, subdivision maps will precisely fix the boundary of the land uses, the location of streets, and the configuration of residential lots. The Specific Plan shall serve as the zoning regulations for the Hitch Ranch plan area.

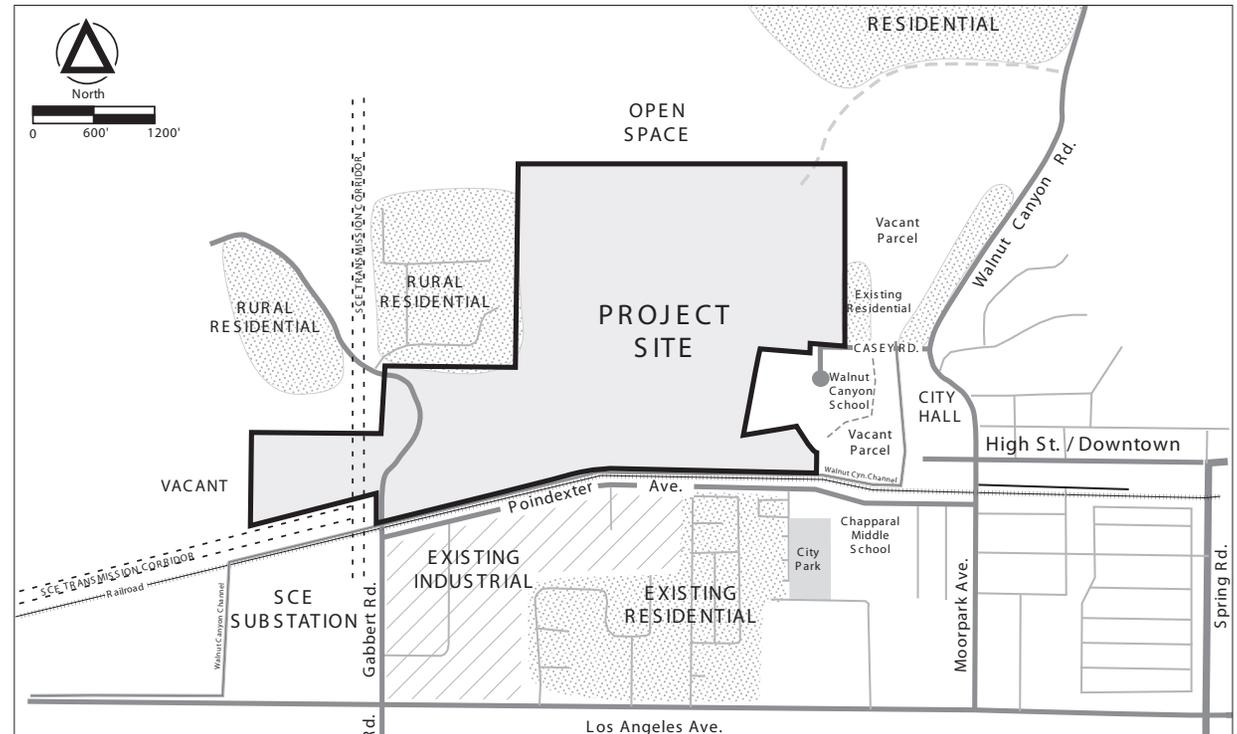


Figure 1-2: Surrounding Land Use

1.3 PROJECT SITE LOCATION

1.3.1 Physical Setting

The Hitch Ranch Specific Plan area project site is located within the City of Moorpark, Ventura County, California between Simi Hills and Little Simi Valley (See Figure 1-1, Regional Map) The Specific Plan area is located in the

rolling hills north of Poindexter Avenue and west of Casey Road and Walnut Canyon Elementary School. The eastern boundary of the project site is located 1,400 feet west of Gabbert Road.

Surrounding land uses are illustrated on Figure 1-2. An aerial photograph of the site and surrounding area is shown on Figure 1-3.

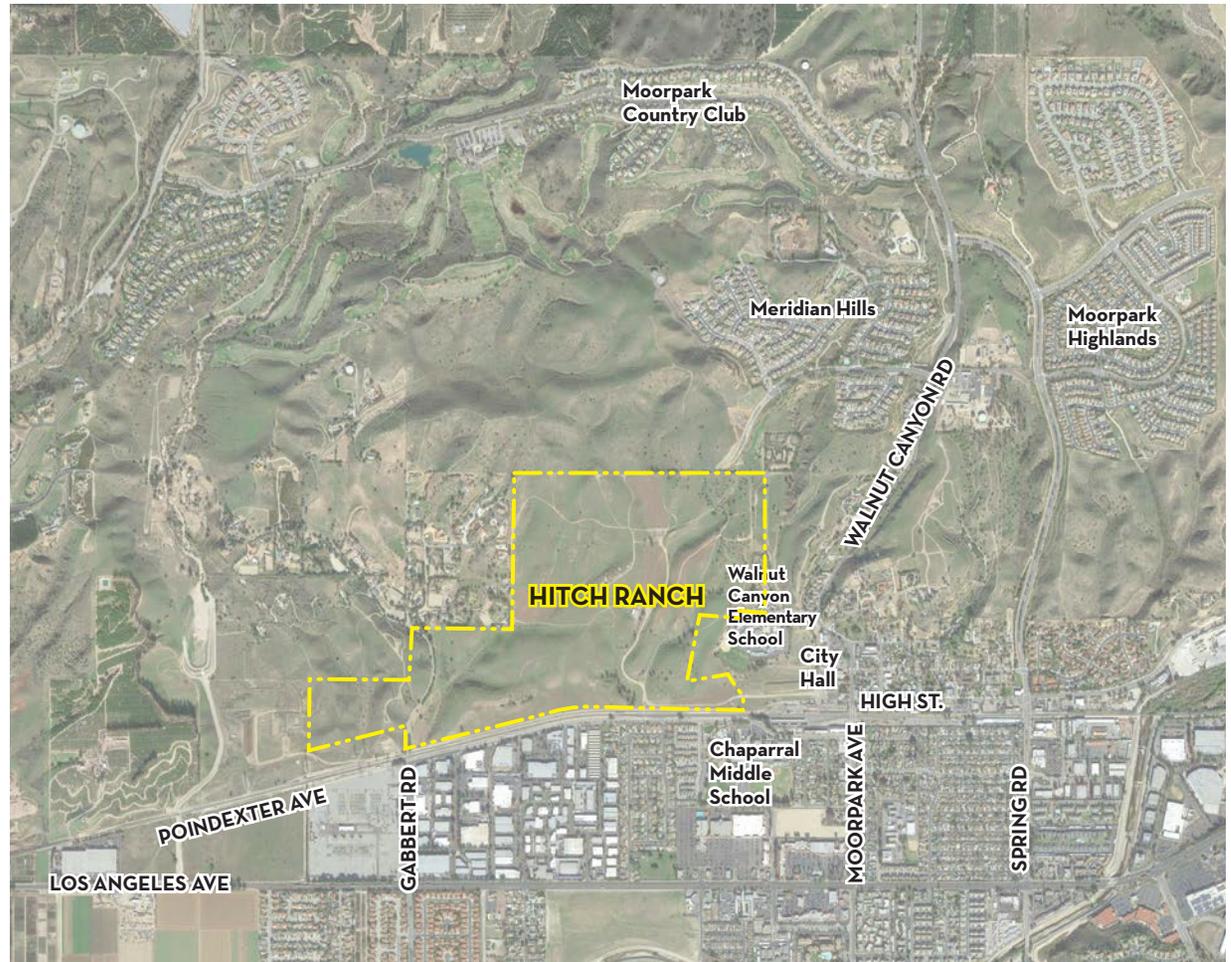


Figure 1-3: Aerial Photograph

A few single-family homes and the Walnut Canyon Elementary School are located immediately to the east, and the Moorpark downtown area is located about one quarter of a mile further east.

A mix of institutional, residential, light industrial and commercial land uses occur to the south. Single-family homes at rural densities, and open space, are located to the west. Residential

development and open space are located to the north. A Ventura County Watershed Protection Agency concrete flood control channel (Walnut Canyon Channel) borders the southern boundary. The Ventura County Transportation Commission/Union Pacific Railroad tracks are located just south of the flood channel. A narrow strip of flat, vacant land separates the tracks from Poindexter Avenue, which is a two-lane collector between Moorpark Avenue on the east and Gabbert Road to the west. The Specific Plan area is located within the boundaries of the City and is not within an area subject to CURB/SOAR voter approval.

1.3.2 Existing Land Uses and On-site Characteristics

The proposed project site encompasses eight (8) parcels totaling 270.64 acres of land, including APN #'s 511-O-020-110, 511-O-020-130, 511-O-020-160, 511-O-020-170, 511-O-020-180, 511-O-020-195, 511-O-200-245 illustrated in Figure 1-4.

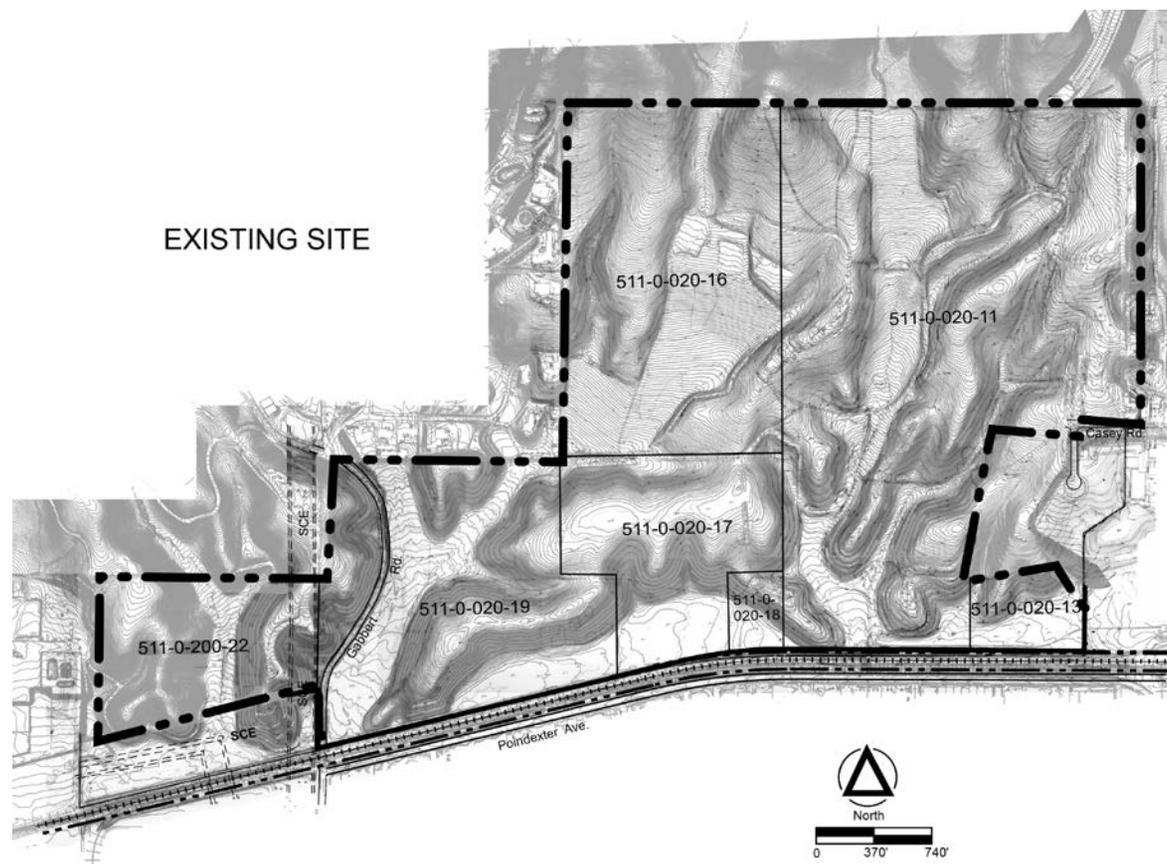


Figure 1-4: Assessor Parcel Numbers



The site's topography is undeveloped and hilly, characterized by a series of moderately sloped northeast and southwest trending ridge spurs with intervening southwest draining valleys. An east-to-west trending knoll occurs in the south/central portion of the site. The flat area along the southern site periphery represents the geomorphic transition from hillside area to the valley area of Moorpark. The site is visible from Los Angeles Avenue (Highway 118). An east-west trending series of hills through the middle of the site blocks views of much of the site's interior from passing motorists or residents on the south side of Poindexter Avenue. Additional north-to-south trending hills partially block views of the site's interior, at the eastern and western ends of the site.

Utilities

Eleven (11) overhead electrical transmission lines within two easements, traverse the western portion to the site, in west-to-east and north-to-south alignments. These lines are part of Southern California Edison (SCE) regional grid system and connect to the SCE Moorpark Substation located just southwest of the project site. Lines and voltage ranges include the local Gabbert 16 kV line, the 66 kV Saugus-Moorpark-Santa Susana-Torrey line, the 220 kV Moorpark-Pardee No. 3, 2 and 1 lines, the 220 kV Moorpark-Santa Clara No. 1 and 2 lines, and the 220 kV Moorpark-Ormond Beach lines. The towers onsite are 75 feet high. There are also local distribution electrical lines, cable TV and telephone lines on poles near the Hitch Ranch property on the west, south and east. Underground water, sewer and storm drain lines are adjacent to the site and depicted elsewhere within the Specific Plan.

Historical Use

Hitch Ranch was historically used for commercial farming operations, including apricot production during the 1950's, and limited dry farming from time to time since then. The more recent farming ventures failed commercially and no crop farming has occurred on-site for over a decade. Remnants of the former apricot farming operations burned down in the fire of October 2003. County of Ventura records indicate that at least 15 water wells have been drilled at various locations on the site. A water tank is also present in the northeastern area of the site.

Biology

Due to many years of crop production, most of the ground surface has been distributed and very little native vegetation remains. There are no significant oak trees or permanent waterways on the site. Historically, the predominant plant communities occurring on the site have been non-native grassland, bacharis scrub, and coastal sage scrub. Several stands of mature eucalyptus and California

pepper trees occur at scattered locations on the site. A fire in October 2003 completely burned the project site and eliminated all bacharis and sage scrub, and killed most trees on the property.

1.4 PROJECT GOALS AND POLICIES

The project has been designed to fulfill the following Hitch Ranch Specific Plan and City of Moorpark goals and policies.

General Project Goals

- Create a new community that allows for residential and parkland development, while preserving natural resources and open space.
- Provide reduced density buffer areas on the northerly portion of the site to preserve and protect the existing rural and equestrian neighborhoods to the west.
- Create quality residential neighborhoods and public park facilities consistent with the goals of the City of Moorpark General Plan.

- Provide a property tax base to support public services.
- Establish development regulations to ensure that residential neighborhoods are compatible with the surrounding area.
- Assure appropriate phasing and financing for community facilities including street and road improvements, water, urban runoff and flood control facilities, sewage disposal facilities, schools, and parks.

Land Use Goals and Policies

Goals

- Create a community that is visually attractive, compatible with the existing land uses adjacent to the project site and organized and designed to provide efficient and orderly use of the site.
- Avoid leapfrog development and accommodate projected growth in a location adjacent to existing infrastructure, urban services, existing circulation elements, and community facilities.

- Provide for comprehensive planning to assure the orderly development of the planning area in relation to the surrounding community.
- Provide development and transitional land use patterns that do not conflict with surrounding land uses.
- Establish land uses that permit a range of housing opportunities with varying densities, types, styles, prices, and tenancy characteristics.
- Designate sites for needed public facilities, including flood control facilities, regional roadways, parks and trails.

Policies

- Cluster higher density residential neighborhoods (Planning Areas 3 & 4) within close proximity to Downtown Moorpark, the Civic Center and Metrolink.
- Separate the project area from adjacent residential neighborhoods to the west through the use of increased lot sizes and rear yard buffers.

- Adopt design guidelines and regulations to provide for consistent implementation of the plan.
- Create neighborhoods with lasting value by setting high quality standards for residential land development.

Housing Goals and Policies

Goals

- Comply with the Moorpark Housing Element by providing for the required affordable multi-family residences.

Policies

- Donation of a six acre finished pad parcel (Zoned RPD-20U-N-D) to the City of Moorpark adjacent to Walnut Canyon School for the City's development of affordable housing.

Circulation Goals and Policies

Goals

- Provide circulation improvements consistent with the Circulation Element to support the planned development.

Policies

- Finance and construct the circulation improvements to support the planned development as identified in the Specific Plan.
- Organize land uses to provide convenient and safe vehicle, bicycle, equestrian and pedestrian circulation throughout the Specific Plan area.
- Create an integrated circulation system that serves residential and recreational use needs, provides access between areas, and discourages non-local traffic from intruding into any residential neighborhoods.
- Provide internal bikeways and trail linkages to the existing and planned city bikeway and trail system beyond the project.

Conservation and Open Space Goals and Policies

Goals

- Conserve and enhance areas with unique environmental and aesthetic value.

Policies

- Retain open space as a buffer between the project and the rural equestrian community to the west.
- Retain natural open space on the northern edge of the project to provide a continuation of the existing City of Moorpark open space parcel west of the Meridian Hills community.
- Retain natural vegetation, wherever feasible, and re-vegetate graded areas to stabilize soils and minimize erosion.
- Soften developed edges through the use of contour grading techniques where appropriate, and make use of plants in fire-department approved planting configurations to provide a visual screen.

Public Services and Facilities Goals and Policies

Goals

- Provide public facilities and improvements to serve the residents of the project area and the City of Moorpark.
- Assure appropriate phasing and financing for community facilities including street and road improvements, water, urban runoff and flood control facilities, sewage disposal facilities, and parks.

Park Policies

- Provide a High Street Public Park along the project street frontage to connect the project to the Moorpark Civic Center and Downtown. Provide extensive private recreational facilities in convenient locations to serve the recreational needs of the project residents.
- Provide extensive on-site bikeway and trail linkages to the existing and planned bikeway and trail system.

Water Policies

- The Project Applicant will be responsible for the financing and construction of the water system improvements necessary to serve the proposed development.
- Promote the use of water efficient appliances.
- Promote water conservation through use of drought-tolerant, fire resistive and native plants as appropriate.

Recycled Water Policies

- The Project Applicant will enter into an agreement with the Ventura County Waterworks District to fund recycled water infrastructure within the District. This funding will be used for increased recycled water infrastructure to offset irrigation of common areas such as open space and landscaped areas.

Wastewater System Policies

- The Project Applicant will be responsible for the financing and construction of the wastewater system improvements necessary to serve the development.

Drainage Policies

- The Project Applicant will be responsible for the financing and construction of the drainage system improvements, including required detention basins, necessary to support the development.
- Comply with the NPDES, and the provisions of City of Moorpark NPDES Permit #CAS004002.

Police and Fire Policies

- Provide police and fire protection facilities adequate to create a safe neighborhood environment.

School Facilities Policies

- Mitigate impacts to schools to the extent required by state law.

Utility Policies

- The Project Applicant will be responsible for the provision of utility improvements to the extent required by the utility purveyors and necessary to support the proposed development, including parks, water, sewer, emergency services, school and dry utilities.

1.5 SPECIFIC PLAN PREPARATION AND PROCESS

The lead agency for the Hitch Ranch Specific Plan is the City of Moorpark. Under the City of Moorpark's review process, the following discretionary approvals are required and have been requested by the applicant:

Certification of the Final Environmental Impact Report for the Hitch Ranch Specific Plan and General Plan Amendment (State Clearinghouse No. _____).

Hitch Ranch Specific Plan No. 2019-01.

Amendments to the Circulation Element and Land Use Element of the General Plan, (GPA No.2019-01).

Zone change from AE-40 to RPD.

Tentative Tract Map No. 5708.

Development Agreement No. 2019-01 - Hitch Ranch.

Following action on these items, development of the plan will also require planned development permits, grading and building permits, and other miscellaneous permits.

1.6 GENERAL PLAN CONFORMANCE

The City of Moorpark General Plan guides development of the City. The General Plan includes the following elements: Land Use, Circulation, Housing, Open Space Conservation and Recreation (OSCAR), Safety, and Noise. A primary component of the Land Use Element is the Land Use Map, which designates the land use classifications and land use patterns intended to achieve the City's overall land use objectives. The current General Plan Land Use Map designation for the Specific Plan area would be amended at the time the Specific Plan is adopted.

The Specific Plan includes three Amendments to elements of the City of Moorpark General Plan. The Amendments are:

- Circulation Element: Amend to include the extension of High Street to Gabbert Road. Under the current General Plan Circulation Element High Street terminates east of Hitch Ranch at Moorpark Avenue. The High Street roadway presently extends

westerly approximately 700 feet beyond Moorpark Avenue to provide access to the United States Post Office. The additional extension to connect to the Hitch Ranch property will provide a secondary access point for the Post Office and improve east/west circulation within the portion of the city north of the Union Pacific Railroad tracks. High Street will be built as a two-lane collector roadway with traffic calming roundabouts within the Specific Plan;

- Land Use Element: Amend to include the addition of 14 acres of Public Parkland, creating consistency with the existing City of Moorpark Park Master Plan. The 14 acres of Public Parkland would replace the three acres of Institutional Use referenced in the General Plan. Reference to the Institutional Use will be deleted.

- Land Use Element: Amend for consistency between the State of California (HCD) approved General Plan Housing Element and the City's current Land Use Element of the General Plan to provide for 755 total dwelling units within the Specific Plan Area. In June 2009, the City Council authorized the Specific Plan and EIR for Hitch Ranch to analyze a maximum of 755 dwelling units. In 2014, the State of California approved the City of Moorpark Housing Element with 755 dwelling units within Hitch Ranch. This Specific Plan is based on the 755 dwelling unit land use plan.

The project has been evaluated for conformance with General Plan Elements as follows:

1.6.1 Land Use Element Consistency

The Land Use Element Goals and Policies focus on the following areas:

- Balanced community growth patterns;
- Land use compatibility;
- Maintaining a suburban rural community character;
- Revitalization of the downtown area;
- Preservation of important natural features, and visually prominent hillside areas; and,
- Overall intensity and density of residential land is proximate and adjacent to commercial uses.

Growth and Population Goals

Goals

- Attain a balanced city growth pattern which includes a full mix of land uses; and
- Establish a logical Sphere of Influence.

Plan Implementation

- The Specific Plan provides for a balance of land uses including residential, open space, and recreational uses. The planning area is within the City of Moorpark and does not require modification of the city's Sphere of Influence.

Residential Development Goals

Goals

- Provide a variety of housing types with varying densities, tenancy characteristics and opportunities for all economic segments of the community.
- Develop new residential housing, compatible with the character of existing individual neighborhoods and minimize land use incompatibility.

Plan Implementation

- The Specific Plan provides for a wide range of housing types to meet the many needs within the city. This includes larger homes for executive housing, smaller detached and attached housing types for first-time and move-up homebuyers, and market-rate apartment units. The northern portion of the project features larger lots and extensive open space keeping with the rural nature of the area and maintains a transitional compatibility with the existing Meridian Hills community. The lower part of the property is closer to Downtown and the Civic Center with higher densities and walkable neighborhoods easily accessible to the adjacent uses. Land use compatibility is addressed through the use of a master land use plan and development standards.

Specific Plan Goals

Goals

- Encourage the use of Specific Plans in the undeveloped areas of the community.

Plan Implementation

- Hitch Ranch is designated as Specific Plan Area No. 1 in the Moorpark General Plan Land Use Element. This Specific Plan identifies the type, location, and intensity of appropriate uses and is therefore consistent with the Land Use Element.

Commercial Development Goals

Goals

- Provide for a variety of commercial facilities, which serve community residents and meet regional needs.
- Provide for new commercial development, which is compatible with surrounding land uses.
- Promote the revitalization of the downtown commercial core (Moorpark Avenue area, Walnut Street, Bard Street, Magnolia Avenue, and High Street).

Plan Implementation

- The Specific Plan does not include commercial planning areas due to its proximity to the downtown commercial core. The expected population increase resulting from the 755 Specific Plan residences will increase the viability of the downtown commercial core.

Agricultural Goals

Goals

- Identify and encourage the preservation of viable agricultural resources in the City and its Area of Interest.

Plan Implementation

- The previous agricultural uses of the site have proven not to be viable over an extended period of time. A decision to permanently change these uses is therefore consistent with the General Plan goal.

Public Facility and Service Goals

Goals

- Ensure that a full range of public facilities and services are provided to meet the needs of the community.

Plan Implementation

- An extensive range of public facilities and services will benefit area residents and the greater community. A multi-use trail system with connections to local and regional trails and improved trailheads will be provided, as well as active-use public parkland and community recreation areas. The Plan also provides public improvements to meet local and regional needs including upgrades to roadway connections to address existing network deficiencies and flood control/drainage improvements.

Economic Development and Employment Goal

Goals

- Achieve a well-balanced and diversified economy within the City, which provides a variety of economic and employment opportunities.

Plan Implementation

- The Specific Plan consists of housing types designed for a wide range of buyers and renters in order to provide opportunities to live and work within the City of Moorpark, achieving a better-balanced community.

Preservation of Environmental Quality Goals

Goals

- Establish land uses and development intensities that are compatible with scenic and natural resources, which encourage environmental preservation.
- Maintain a high quality environment that contributes to and enhances the quality of life and protects public health, safety, and welfare.

Plan Implementation

- The Specific Plan concentrates development areas in order to preserve natural features and open space. The plan focuses the highest density development in the closest proximity to the downtown commercial core, civic center and Metrolink transportation hub. The network of trails, parks and natural open space create an active, outdoor-oriented community benefiting existing and future residents of Moorpark.

Community Appearance Goals

Goals

- Enhance and maintain the suburban/rural identity of the community.
- Enhance the physical and visual image of the community.

Plan Implementation

- The Specific Plan creates a community that enhances Moorpark's identity by concentrating higher density residential areas near the historical downtown while transitioning to more suburban and rural

residential areas in the hills. The landscape and architectural design of the Specific Plan reflect the historic Early California and agricultural characteristics of the Moorpark community.

1.6.2 Specific Plan Development Requirements

The following are the Specific Plan Development Requirements and Implementation Plans:

Land Use Consistency Requirement Requirement

- General Plan: "Provide for the creation of an approximately 285-acre Specific Plan area in the western section of the City, north of Poindexter Avenue and the Union Pacific Railroad tracks. According to the Specific Plan No. 1 designation, the number of dwelling units shall not exceed 415, unless the Specific Plan area property owner agrees to provide public improvements, public services and/or financial contributions that the City Council

determines to be of substantial public benefit to the community, in which event, the number of dwelling units shall not exceed 620.”

In 2014, the State of California approved the City of Moorpark General Plan Housing Element with 755 dwelling units within Hitch Ranch.

Plan Implementation

- As provided for in the approved City of Moorpark General Plan Housing Element, the Specific Plan provides for a total of 755 dwelling units. As proposed in the Specific Plan extensive public improvements will be provided. Improvements include: 14+ acres of public parklands and approximately 4.5 miles of community multi-use trails, paths and greenbelts. Public safety enhancements (i.e. emergency vehicle access) for the existing Walnut Canyon School and surrounding residential communities will

be achieved by the construction of North Hills Parkway, internal Street “A”, Meridian Hills Drive, and the extension of High Street to Gabbert Road. These circulation improvements provide multiple additional points of access to regional circulation. Construction of stormwater detention basins will reduce existing downstream flooding risks. These detention basins are not required to protect the Specific Plan development areas, but rather provide capacity to retain heavy upstream rainfall runoff that presently creates a flooding risk to properties downstream of Hitch Ranch. Further, the detention basins protect the water quality of localized runoff into the Arroyo Simi and Calleguas Creek watersheds.

Public Institutional Requirement Requirement

- A minimum of three (3) acres of land shall be designated as Public Institutional within the Specific Plan area.

Plan Implementation

- As a part of the Specific Plan implementation 14+ acres of public active use parkland and amenities will be developed and donated to the City of Moorpark in lieu of the Public Institutional requirement.

Miscellaneous Land Use Requirement

Requirement

- The appropriate amount of land to be designated as Open Space, Park, School, or any other appropriate land use designation, will be determined at the time of Specific Plan preparation or approval.

Plan Implementation

- The proposed land uses in the Specific Plan have been developed with extensive input from City staff, including the 14+ acres of active use public parkland and amenities. In addition, approximately 7 acres were deeded in 1997 from the Hitch Ranch property owners to the Moorpark School District to facilitate the construction of the Walnut Canyon School campus.

Circulation Requirement Requirement

- The Specific Plan area shall provide protection for the conceptual alignment of the SR-118 freeway corridor and shall ensure that roadway rights-of-way are protected for the planned roadway upgrades, improvements and additions as identified in the City's circulation plan.

Plan Implementation

- The land use plan and circulation plan of the Specific Plan are consistent with these requirements; a 200 foot corridor is included for North Hills Parkway, allowing for future upgrades to the roadway.

1.6.3 Circulation Element Consistency

The Circulation Element of the Moorpark General Plan sets the overall goals and identifies the circulation improvements necessary to provide adequate transportation throughout the City. The specific goals include:

Circulation Element Consistency

Goal 1

- Provide a transportation system that supports the land use plan in the General Plan and provides for the safe and efficient movement of people, goods and services within, into, out of, and through the City of Moorpark.

Plan Implementation

- The Specific Plan provides for a hierarchical system of streets that is consistent with the Circulation Element and that connects with other streets and roadways to link throughout the City and the greater area. This includes the extension of Meridian Hills Drive, North Hills Parkway, Casey Road, High Street and "A" Street. The street network provided by the Specific Plan greatly improves the fire safety and emergency access to the Meridian Hills and Gabbert Road neighborhoods as well as eliminates the sub-standard single point of access at the existing Walnut Canyon School campus.

Goal 2

- Provide a circulation system which supports existing, approved and planned uses throughout the City, while maintaining a desired level of service on all streets and at all intersections.

Plan Implementation

The project circulation system integrates with and extends existing streets such as Casey Road and High Street and accommodates planned future uses through the extension of North Hills Parkway. The circulation system is engineered to meet or exceed the City's level-of-service (LOS) goal of "C."

Goal 3

- Adopt and maintain a set of roadway standards and transportation design criteria, which supports and maintains the desired character of the City of Moorpark.

Plan Implementation

- The proposed circulation plan is designed to and meets or exceeds the City of Moorpark's standards and design criteria.

Goal 4

- Provide a public transportation system which serves the needs of persons living in and/or working in the City of Moorpark.

Plan Implementation

- The Specific Plan will include bus stops at appropriate locations to facilitate transit service between the planning area, the City and the region.

Goal 5

- Provide a citywide system of safe, efficient and attractive bicycle and pedestrian routes for commuter, school, and recreational uses.

Plan Implementation

- The Specific Plan includes bicycle lanes within appropriate roadway designs and provides an integrated trail system with fully improved trail heads to facilitate pedestrian and bicycle uses.

Goal 6

- Provide equestrian trails for recreational use.

Plan Implementation

- The Specific Plan provides for an interconnected system of equestrian trails throughout the project area open spaces with links to adjacent equestrian uses and local and regional trails.

Goal 7

- Develop and encourage a transportation demand management system to assist in mitigating traffic impacts and in maintaining a desired level of service on the circulation system.

Plan Implementation:

- Bikeways and trails connect to the city's bike and trail system. Additionally, the project will provide housing in close proximity to transit (bus and Metro) and employment opportunities.

1.6.4 Open Space, Conservation, & Recreation Element Consistency

The City of Moorpark's Open Space, Conservation and Recreation (OSCAR) Element seeks to maintain the quality of life for residents through the management of open space and natural resources. Specifically, the goals are:

Open Space, Conservation, and Recreation Element Consistency

Goal 1

- Preserve and enhance the unique aesthetic and visual qualities of Moorpark as a city with scenic topographic features and elements that promote the quality of life that Moorpark citizens pursue.

Plan Implementation

- The Specific Plan permanently preserves approximately 78 acres of open space.

Goal 2

- Acquire, provide and maintain public parkland for both passive and active use that is equally accessible to the community on a neighborhood, community and regional basis.

Plan Implementation

The Specific Plan provides for extensive private neighborhood recreational facilities. In addition, a 14+ acre active use park is proposed along the High Street extension area of the Specific Plan.

Goal 3

- Ensure the health, safety and general welfare of the public through designating land uses that will minimize the risk of danger to the public.

Plan Implementation

- The Specific Plan provides for roadway connections creating multiple fire safety emergency routes for the northern portion of the city. The plan complies

with all recently-adopted CalFire and Ventura County Fire Department design standards. The incorporation of storm water detention basins reduce flooding potential downstream of the Specific Plan area.

Goal 4

- Preserve and maintain the physical and biological environment from future growth-related degradation. In those areas where degradation is inevitable, ensure the restoration of affected areas.

Plan Implementation

- The Specific Plan includes the establishment of permanent open space areas within the planning area. Additionally, the Specific Plan includes regional storm water detention facilities to aid in preserving water quality.

Goal 5

- Enhance and encourage communication channels throughout the community to provide up-to-date information on environmental issues and opportunities.

Plan Implementation

- The discretionary approval process includes extensive public input and information through written comment and public hearings.

Goal 6

- Maintain and enhance the open space and designated non-growth areas for conservation, agriculture, ranching, recreation, leisure, and aesthetic purposes.

Plan Implementation

- The Specific Plan preserves over 78 acres as permanent open space, public parks and private recreation areas and provides over 4.5 miles of multi-use trails.

Goal 7

- Protect scenic and recreational resources from adverse impacts resulting from oil exploration or oil drilling.

Plan Implementation

- The Specific Plan does not allow future oil exploration or drilling.

1.6.5 Housing Element Consistency

The City of Moorpark's General Plan includes a state-approved Housing Element that provides for fair and equal housing opportunities and inclusionary affordable housing.

Housing Element Consistency**Plan Implementation**

- The Specific Plan provides for a range of housing types and sizes in a range of affordability categories. To fulfill the Housing Element requirement for affordable housing, the City of Moorpark will receive a dedication of an adjacent 6-acre graded parcel of land (zoned RPD-20U-N-D) with all utility services at the site, enabling the City to develop the site as an affordable multi-family housing project.

1.6.6 Safety Element Consistency

The General Plan's Safety Element includes an evaluation of various hazards including flooding, wildfires and earthquakes as well as a range of response options to each.

Safety Element Consistency

Plan Implementation

- A Hydrology Study and an Environmental Impact Report were conducted as part of the Specific Plan and determined the project does not create a flood hazard.
- Wildfire hazards are minimized through fuel modification and other measures as set forth in the Public Services and Design Guidelines sections of this Specific Plan.
- In conjunction with the preparation of this Specific Plan, a soils study evaluated fault displacement, earthquake and ground shaking, liquefaction, landslide/mudslide potential, and expansive soils issues. This study is included with the Specific Plan EIR.

- The Specific Plan will be designed in accordance with all applicable government codes relative to flooding, wildfire and geologic hazards.

1.6.7 Noise Element Consistency

The Noise Element of the General Plan seeks to avoid, minimize or mitigate adverse noise conditions within the City of Moorpark. The specific goals of the Noise Element include:

Noise Element Consistency

Goal 1

- Noise barriers or other mitigation techniques should be required in new housing developments if developed along state highways, city streets, or railroads where a significant impact exists or is projected at nearby noise-sensitive locations.

Plan Implementation

- The project will comply with the applicable General Plan requirements for noise reduction.

Goal 2

- Noise barrier construction along state highways should be pursued where a significant impact exists or is projected at nearby residential zones and other noise sensitive locations.

Plan Implementation

- The project will comply with the applicable General Plan requirements for noise reduction.

Goal 3

- Noise barriers should be constructed along the Union Pacific rail line corridor where residences exist adjacent to the main tracks.

Plan Implementation

- There are no residences immediately adjacent to rail lines within the Specific Plan Area.

Goal 4

- The City should consider planning guidelines, which include noise control for all new residential developments and condominium conversion projects.

Plan Implementation

- The project will comply with all noise control ordinances adopted by the City for new residential developments.

Goal 5

- Future plans within the City should reflect a consciousness on the part of the City regarding the reduction of unnecessary noise near existing noise-sensitive areas such as residences, parks, hospitals, libraries, convalescent homes, etc.

Plan Implementation

- All planning areas have been designed to minimize noise impacts on adjacent areas. Noise mitigation measures, as identified in the EIR, are included in conformance with General Plan requirements.

Goal 6

- The City should develop a policy for noise abatement and control of residential, commercial, and industrial activities within the City such that intrusive noise is limited to acceptable standards.

Plan Implementation

- The project will comply with the applicable General Plan requirements for noise reduction.

Goal 7

- The City should encourage the reduction of noise throughout Moorpark.

Plan Implementation

- The Specific Plan includes a variety of uses each of which will adhere to the appropriate General Plan noise reduction requirements.



Chapter 2

DEVELOPMENT PLAN

2.1 LAND USE PLAN

The Hitch Ranch Specific Plan envisions four distinct residential neighborhoods with public roads, a public park along High Street, shared private recreational facilities, a local trail network, and direct access to the historic Downtown Moorpark commercial district and Civic Center.

The residential neighborhoods have been placed on the extended upper plateau of Hitch Ranch, approximately 80 to 140 feet above the valley floor to the south. The neighborhoods are relatively flat (2% to 6% street grade) and are inter-connected by landscaped collector roads with multi-use trails and sidewalks.



The Specific Plan provides a variety of housing types and residential densities. Additionally, the plan provides for a 14+ acre public park along High Street. Private recreation and open space lands are also integrated throughout the plan. A statistical summary of the land use mix is provided in Table 2-1 and the Land Use Plan is illustrated in Figure 2-1.

TABLE 2-1 LAND USE SUMMARY

Planning Area	Land Use Category	Land Use Description	Gross Area (Acres)	Net Area (Acres)	Units	Maximum Density (du/net ac)
Single-Family Residential						
1	RPD-3U	Single-family Residential	55.41	28.90	81	2.8
2	RPD-6U	Single-family Residential	59.76	35.70	188	5.3
3	RPD-11U	Mixed Residential	32.80	24.90	250	10.1
4	RPD-22U	Multi-family Residential	16.247	10.80	236	21.9
Total Residential			164.44	100.3	755	7.53
Other Uses						
5		Water Quality Treatment	2.33			
Park A&B		High Street Park	14.11			
6		Open Space Lot	28.78			
Other		Roadways, Detention Areas, Open Space and other Public Facilities	63.31			
Total Other			106.20			
Project Total			270.64		755	2.79 (Gross Density)



Figure 2-1: Illustrative Land Use Plan



Figure 2-2: Illustrative Site Plan

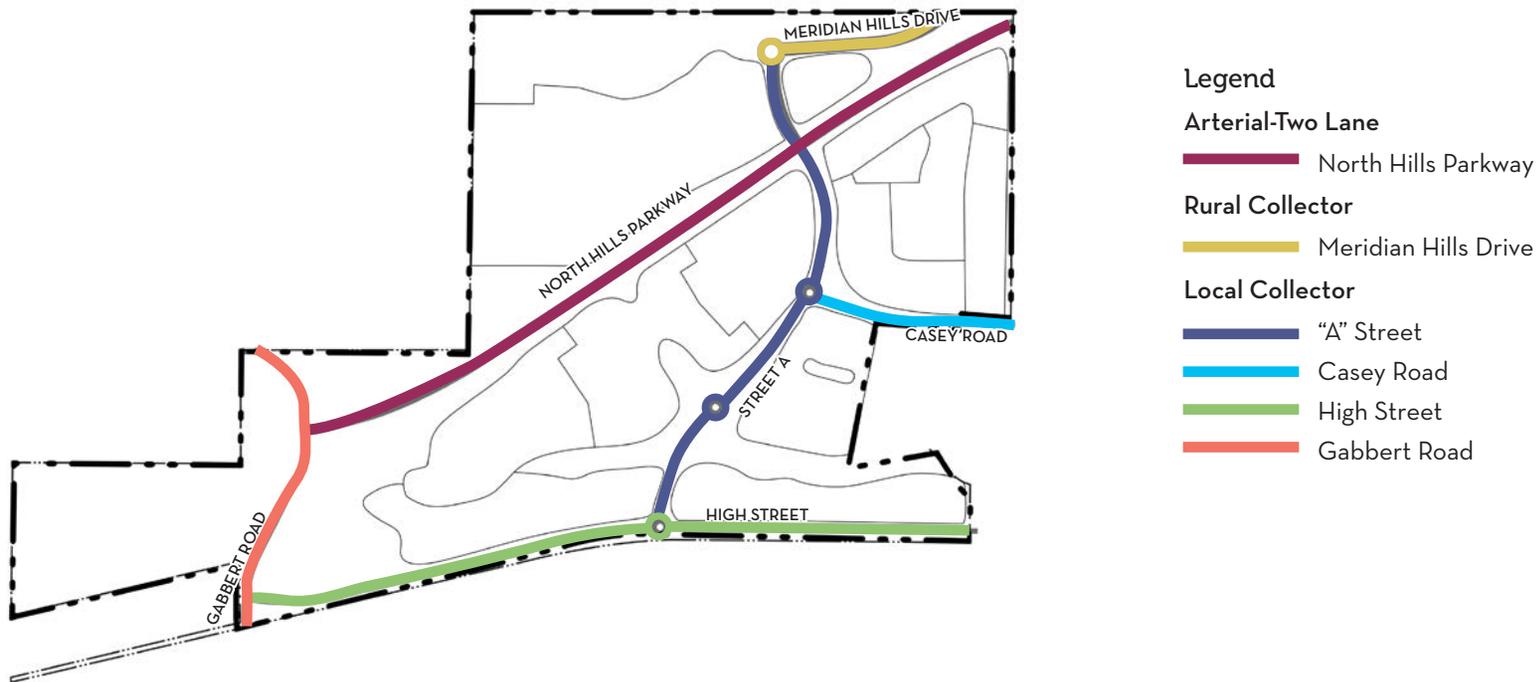


Figure 2-3: Circulation Plan

2.2 CIRCULATION PLAN

The structural framework of the project area is created by the street system. In addition to providing sufficient access to the allowed land uses, the street network also defines a series of landscaped areas and open space that are planned as one of the distinctive features of the Specific Plan. The Circulation Plan is depicted in Figure 2-3. The Circulation Plan generally locates the road network. Final engineered road alignments may vary and are subject to review and approval by the City of Moorpark based on policies contained in this document and without an amendment to this Specific Plan.

2.2.1 Streets

The following four main categories of existing and planned streets are planned within the Specific Plan area. The categories of roadways are summarized in accordance with the Circulation Element of the City's General Plan.

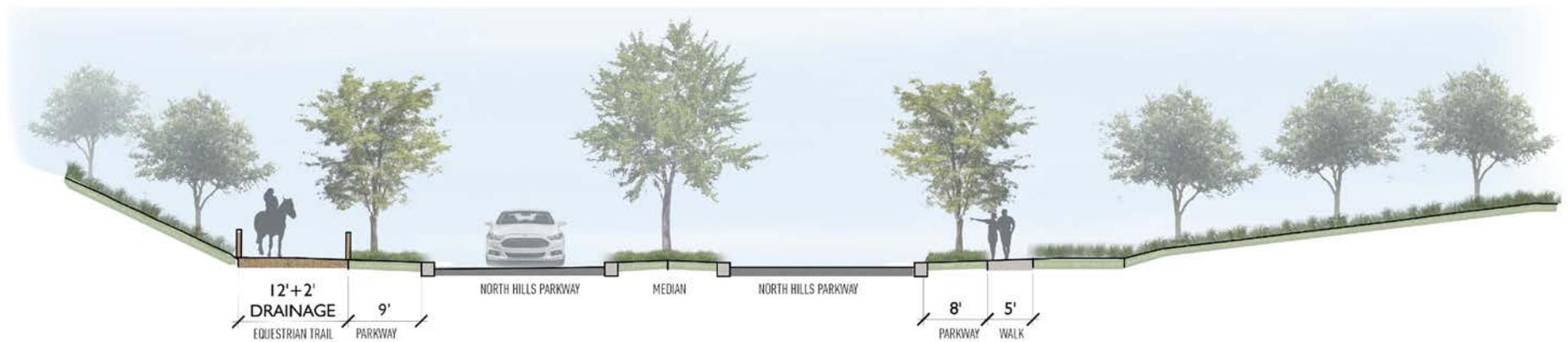
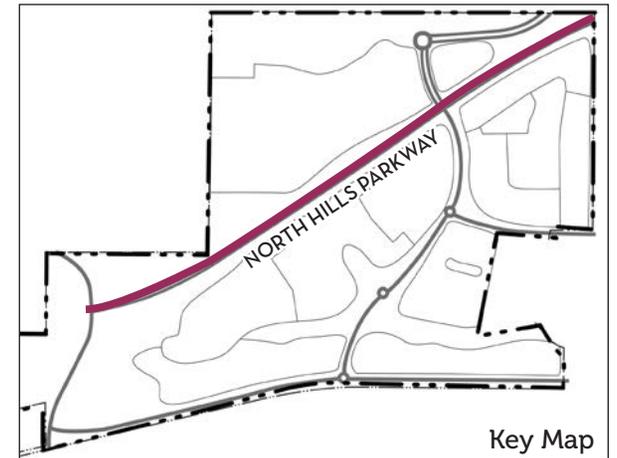


Figure 2-4: Street Section- North Hills Parkway

Arterial Roadway

North Hills Parkway is an Arterial roadway designed to allow future widening to four total lanes. The Specific Plan development provides an initial two-lane road and consists of two 20-foot wide vehicle-travel plus bike lanes (one in each direction) with a right-of-way width of 200 feet and a curb-to-curb total pavement width of 40 feet, with controlled access and restricted parking. A 14-foot wide landscaped median is provided. Each side of the roadway includes 9-foot future roadway widening earthen shoulder plus a 14-foot wide ultimate parkway section. The north side of the parkway shall provide for a 12-foot wide multi-use trail. Dedicated right and left turn

lanes will be provided where needed. Curbside parking will be permitted in limited locations. Figure 2-4 illustrates the section of North Hills Parkway.

This arterial roadway is ultimately intended to:

- Provide for through traffic from SR 23/118;
- Separate vehicle and bicycle traffic in distinct travel lanes;
- Provide adequate right of way to North Hills Parkway to allow conversion to a four-lane road, expressway or freeway. The Gabbert Road/North Hills Parkway intersection could be converted to an interchange.

Rural Collector Road

Rural Collector Roads within the Specific Plan area include Gabbert Road and “A” Street and Meridian Hills Drive. These roads provide two -to-four travel lanes (one or two in each direction), with optional 12-to 14 foot raised landscaped median, with a typical right-of-way width of 80 to 104 feet and a curb-to-curb pavement width of 40 to 52 feet; shoulder widths vary and contain 5 to 10-foot landscape parkway and a 5-foot sidewalks. In hillside areas, the minimum dimension may be allowed, but graded shoulders are required and on-street parking is prohibited. To provide extra safety a decomposed granite multi-purpose trail is proposed for joint use by equestrians, bicyclists and pedestrians in specific locations. Figure 2-5 to 2-7 illustrate these street sections.

The “A” Street intersection with North Hills Parkway bypass will provide full access (four-way with all turns permitted) to the site.

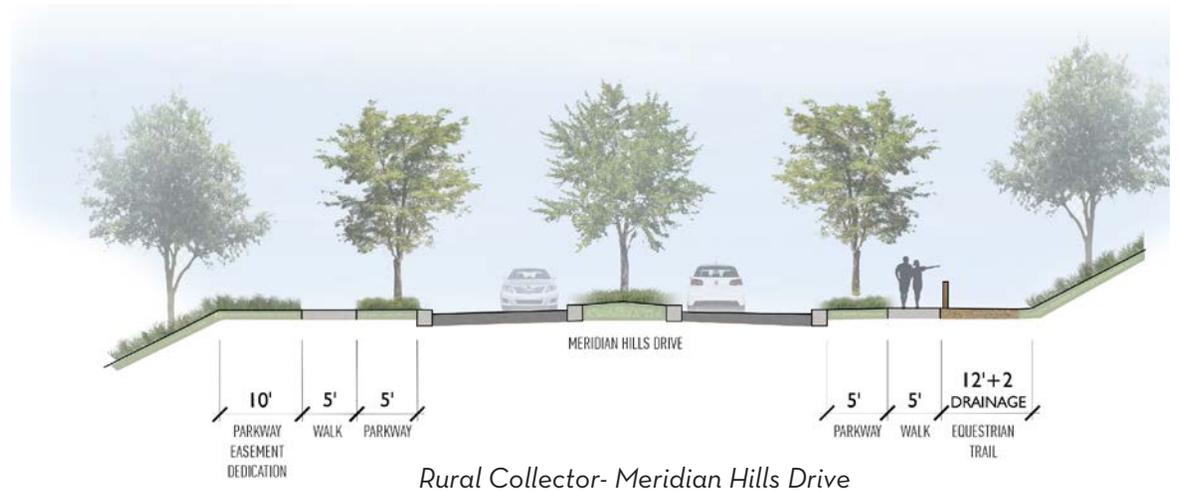
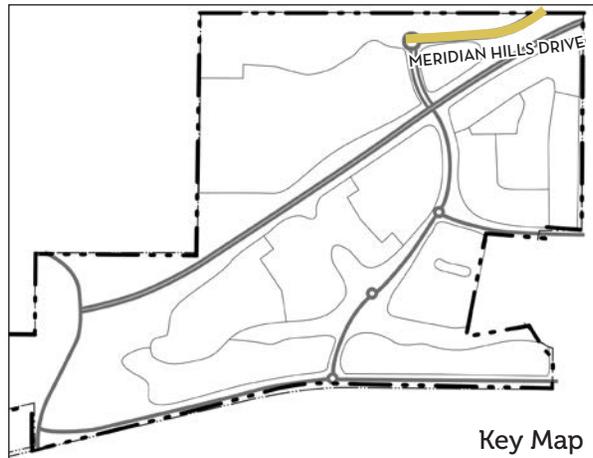


Figure 2-5: Street Section- Rural/Local Collector

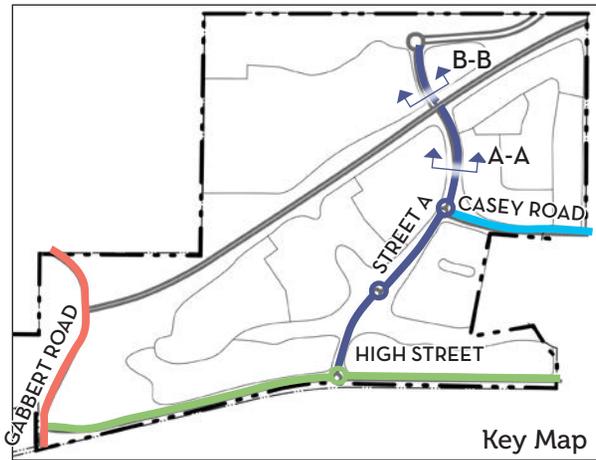
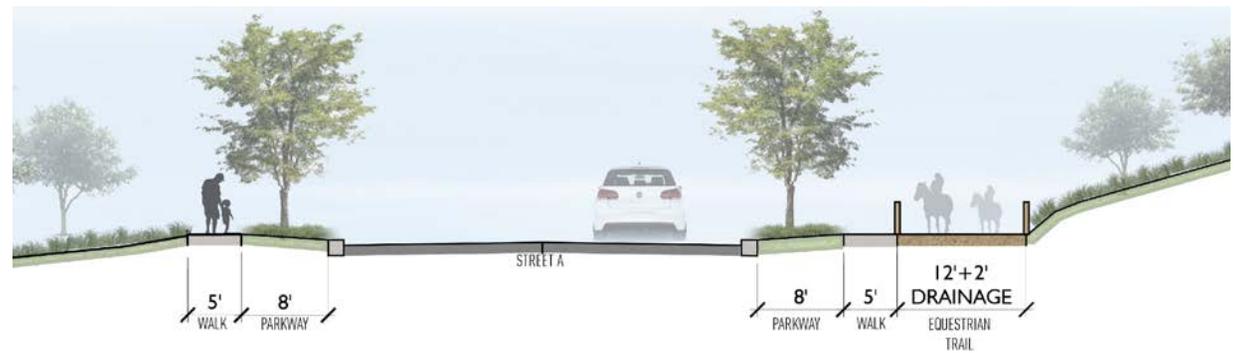
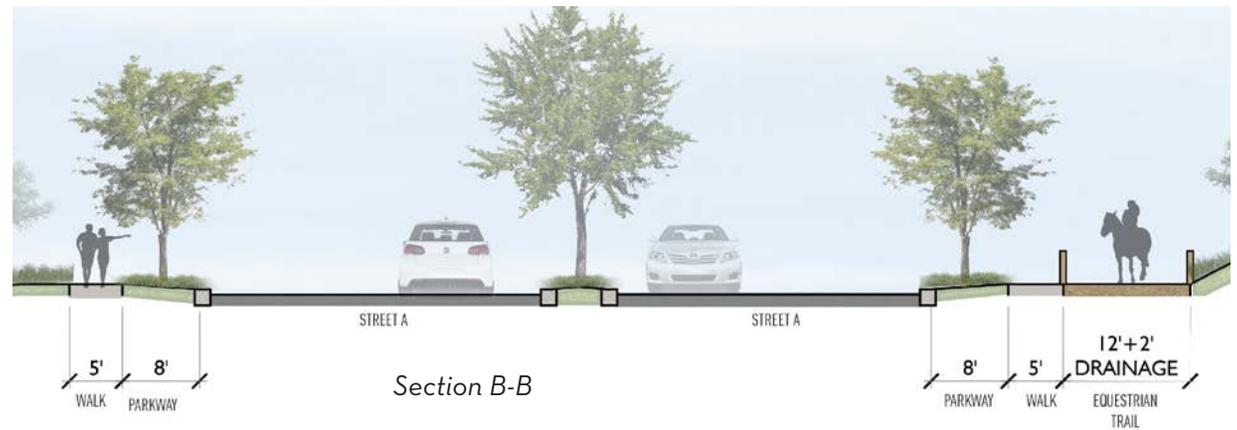


Figure 2-6: Plan View- Street "A"



Section A-A



Section B-B

Figure 2-7: Street Sections- Local Collector Street "A"

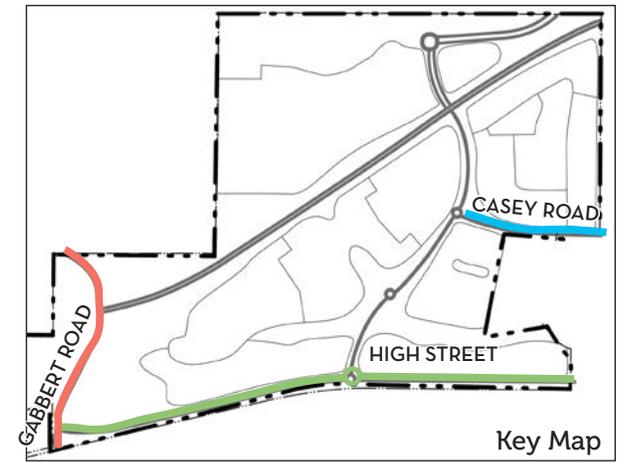


Figure 2-8: Street Sections- Local Collector Streets

Local Collector Roads

Existing Local Collectors within the Specific Plan area are Casey Road and High Street. These roads provide two travel lanes (one in each direction), with a right of way width of 60 to 75 feet and a curb-to-curb pavement width of 40 to 48 feet; 10-to 19 foot shoulders containing an 8-foot landscaped parkway and a 5-foot sidewalk are typically provided. Casey Road is an east-to-west roadway providing a frontage access road into the project area and connecting the project to areas to the east.

Casey Road shall also serve as an entry corridor into the area. Roadways shall be one lane in each direction. Figure 2-8 to Figure 2-10 illustrate the street section envisioned for Casey Road and High Street, which will function as easterly entrances into the project area.

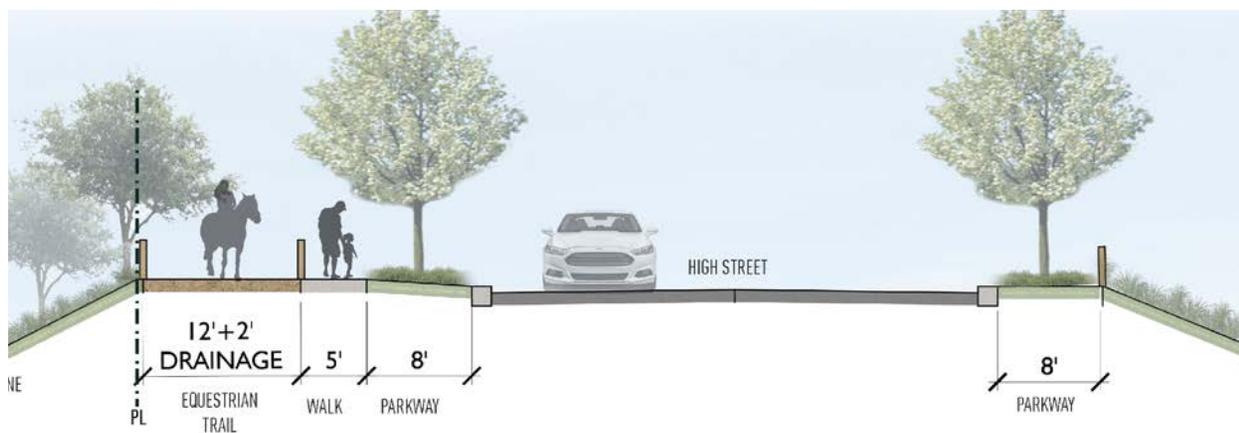


Figure 2-9: Street Section- Local Collector Street Casey Road (on-site)



Figure 2-10: Street Plan View- Casey Road

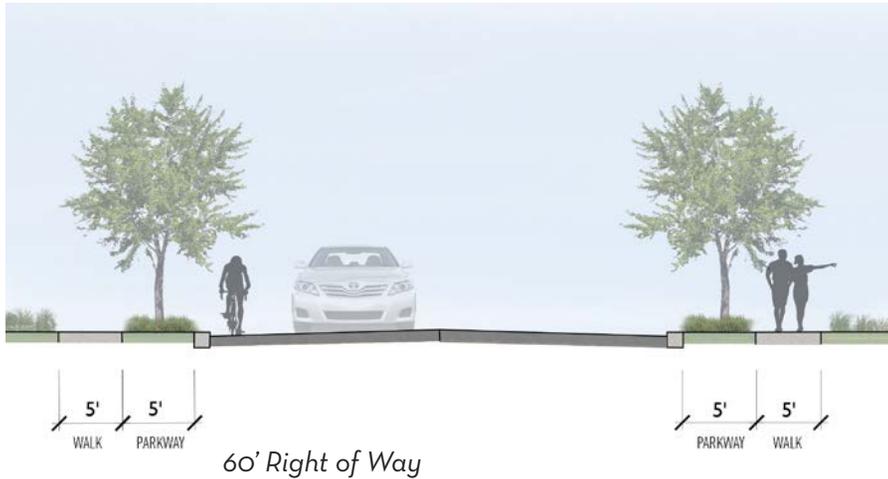


Figure 2-11: Street Section- Local Street

Neighborhood (Local) Streets

Neighborhood Streets are streets that are public streets internal to the Specific Plan area, Arterials and Rural and Local Collectors. Neighborhood streets provide access to residential and recreational land uses. These streets typically have a right-of-way width of 56 to 60 feet and a curb-to-curb pavement width of 36 to 40 feet with 10-foot shoulders containing a 5-foot landscape parkway and a 5-foot sidewalk. Figure 2-11 illustrates these street sections.

Neighborhood streets are located and detailed with the following intentions:

- Provide quiet, safe and attractive frontages for residential lots;
- Provide safe and convenient routes for pedestrians from homes to recreational areas; and
- Accommodate low volume vehicular traffic and bicycles at slow speeds.

The precise location shall be determined through the approval of subdivision maps. Neighborhood streets may or may not be gated. If they are gated they are subject to precise design approval by the City of Moorpark. Streets internal to Planning Areas 3 and 4 may have private drives and street widths less than 36 feet. The precise width of these streets shall be determined through the approval of subdivision maps for these project areas. Traffic calming devices such as chokers may be incorporated in street design, subject to meeting Public Works and Fire Department design standards,

2.3 PROPOSED ZONE CLASSIFICATIONS

2.3.1 Zone Classifications

Table 2-2 defines zoning classifications proposed within the Specific Plan area. In those categories where this plan does not establish or define standards, the standards of the City of Moorpark Zoning Ordinance shall apply.

TABLE 2-2 ZONE CLASSIFICATIONS

Planning Area	Zoning	Land Use Description	Gross Area (Acres)	Units	Gross Density (du/ac)
Single-Family Residential					
1	RPD-3U	Single-family Residential	55.41	81	
2	RPD-6U	Single-family Residential	59.76	188	
Total Single-Family Residential			115.17	289	N/A
Multi-Family Residential					
3	RPD-11U	Mixed Residential	32.80	250	
4	RPD-22U	Multi-family Residential	16.47	236	
Total Multi-Family Residential			49.27	486	N/A
Total Residential			164.44	755	
Other Uses					
5		Water Quality Treatment	2.33		
Park A&B		High Street Park	14.11		
6		Open Space Lot	28.78		
		Other	63.31		
Total Other			106.20		
Project Total			270.64		



Chapter 3

PUBLIC SERVICES & FACILITIES

3.1 UTILITIES AND PUBLIC SERVICES

This section addresses the public service requirements for the Hitch Ranch Specific Plan area. All necessary utilities of sufficient capacity are either adjacent to or will be brought to the site as part of the Hitch Ranch project.



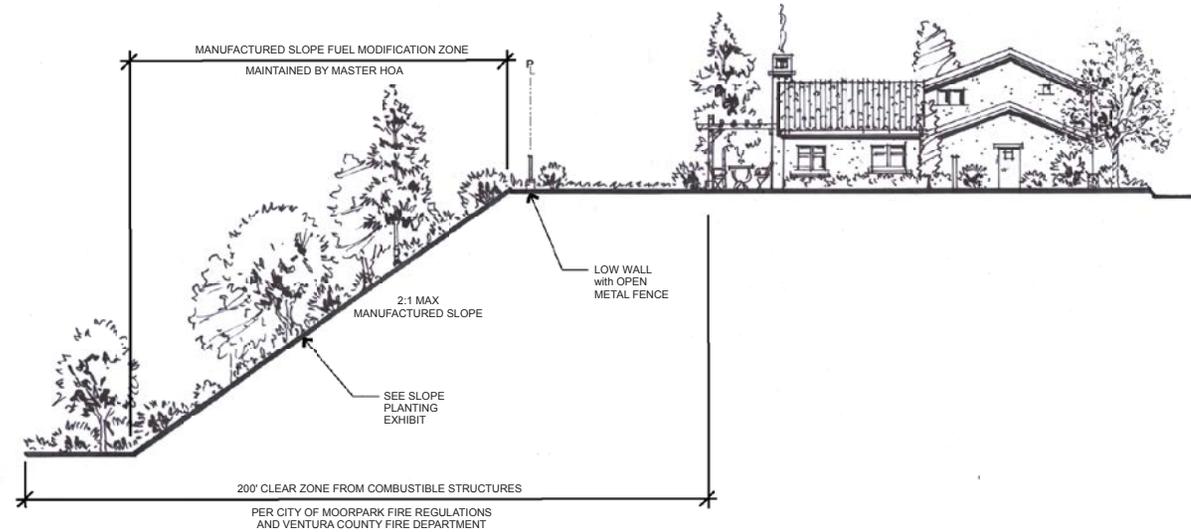


Figure 3-1: Fuel Modification Zone

3.1.1 Fire Protection

Hitch Ranch is within the Ventura County Fire Protection District, which will provide service for the project. The City of Moorpark contracts with the County for fire protection services. Two fire stations are located in the proximity of the project area, Fire Station 42 and Fire Station 40. Fire Station 42 is located at 295 High Street, approximately one-third mile east of the

Specific Plan area and would be the primary response company. Fire Station 40 is located at 4185 Cedar Springs Street, approximately 2.3 miles south of the project site. Like the rest of the northern half of the City of Moorpark, Hitch Ranch is located within a Cal Fire-designated Very High Fire Severity Zone (VHFHSZ). The following shall be required of the project:

- The use of non-flammable materials, especially roofing materials, will be required for all structures in the Specific Plan area. Homes adjacent to Open Space areas shall utilize additional methods of fire protection such as the boxing of eaves and use of sprinklers in accordance with the Hitch Ranch Fire Protection Plan.

- Implementation and maintenance of a fuel modification management program focusing on management of highly combustible native vegetation, pruning of lower branches of native trees and the elimination of invasive, combustible non-native species introduced by residents is required. Permanent fuel modification is required where development is adjacent to natural open space areas. The width of the fuel modification zone will be 200 feet from the buildable pad adjacent to the Open Space internal to the project, and a minimum of 200 feet from the buildable pad adjacent to Open Space that extends beyond the boundaries of the project. (See Figure 3-1).

The following factors will be considered in the determination of the width of the fuel modification zone:

- The natural slope of the land within the site and adjacent to the site;
- Fuel loading (density of the natural vegetation);
- Access to the project area and the fuel modified area; and
- Availability of fire flow through a municipal water system.

3.1.2 Police Protection

The Ventura County Sheriff's Department will provide police protection for Hitch Ranch. The City of Moorpark contracts with the Sheriff's Department for sworn and non-sworn county officers to provide law enforcement services. The City presently utilizes police and equipment based from locally-housed

investigative, community policing and traffic officers. The Moorpark Police Service Center, located at 610 Spring Road, is less than one mile from Hitch Ranch and is the location from which all patrol units would respond to the site.

3.1.3 Schools

The Moorpark Unified School District (MUSD) provides public education services to the project vicinity. Development of 755 residential units proposed as part of the Specific Plan would introduce additional students in the MUSD. Those additional students would increase the demand on school facilities. School fees are used to mitigate increase impacts associated with adding incremental amounts of students to school districts.

3.2 PUBLIC FACILITIES

This section summarizes the facilities required for utility improvements. The precise location and size of the individual lines may be modified as part of the subdivision map process.

3.2.1 Domestic Water System

The Ventura County Waterworks District No. 1 will provide water service to the project area. An 8-inch main in Poindexter Avenue and Gabbert Road and a 12-inch main in Gabbert Road could serve the project site. The precise configuration of water service system for the proposed project will be determined at the time individual tract maps are prepared for each phase of the Specific Plan. Figure 3-2 illustrates the proposed Domestic Water System.

New development is encouraged to comply with the Ventura County Landscape and Irrigation Guide and Moorpark Ordinance No. 132 for the implementation of the same Water Conservation Program in order to encourage water efficient landscapes and conservation.

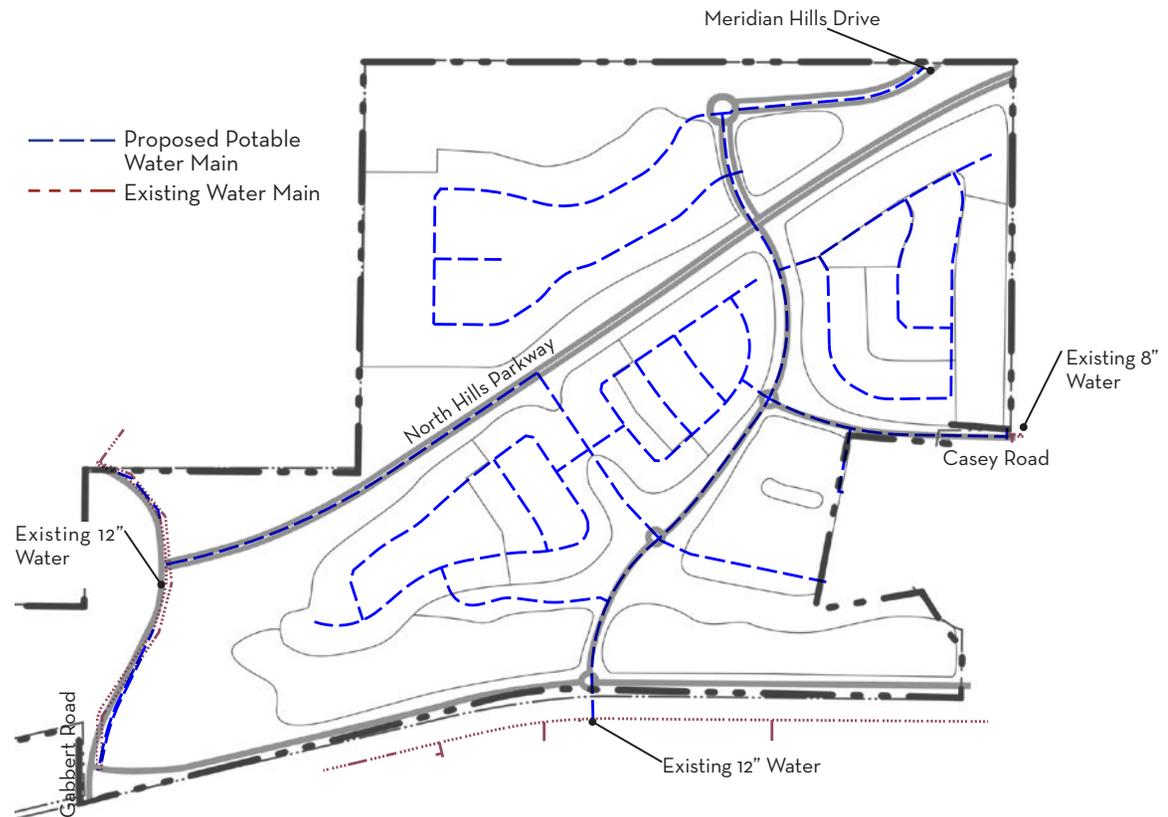


Figure 3-2: Domestic Water System

3.2.2 Wastewater System

The Ventura County Waterworks District No. 1 will provide sanitary sewer service for the project site. The existing wastewater collection system is a gravity-collection system. The nearest wastewater lines to the project site are along Gabbert Road and Poindexter Avenue. Two sewer lines in Gabbert Road (12-inch) and Poindexter Avenue (18-inch) will provide sewer service for the project site. Both lines drain through a network of pipelines to the existing 27-inch wastewater trunk line along the north levee of the Arroyo Simi flood control channel. The District's Wastewater Master Plan does not indicate any current deficiencies in the system. The exact configuration of the sewage collection system for the project will be determined at the time individual tract maps are prepared for each phase of the Specific Plan. Figure 3-3 illustrates the proposed Wastewater System. District No. 1 requires that new development wastewater systems connect to the District's

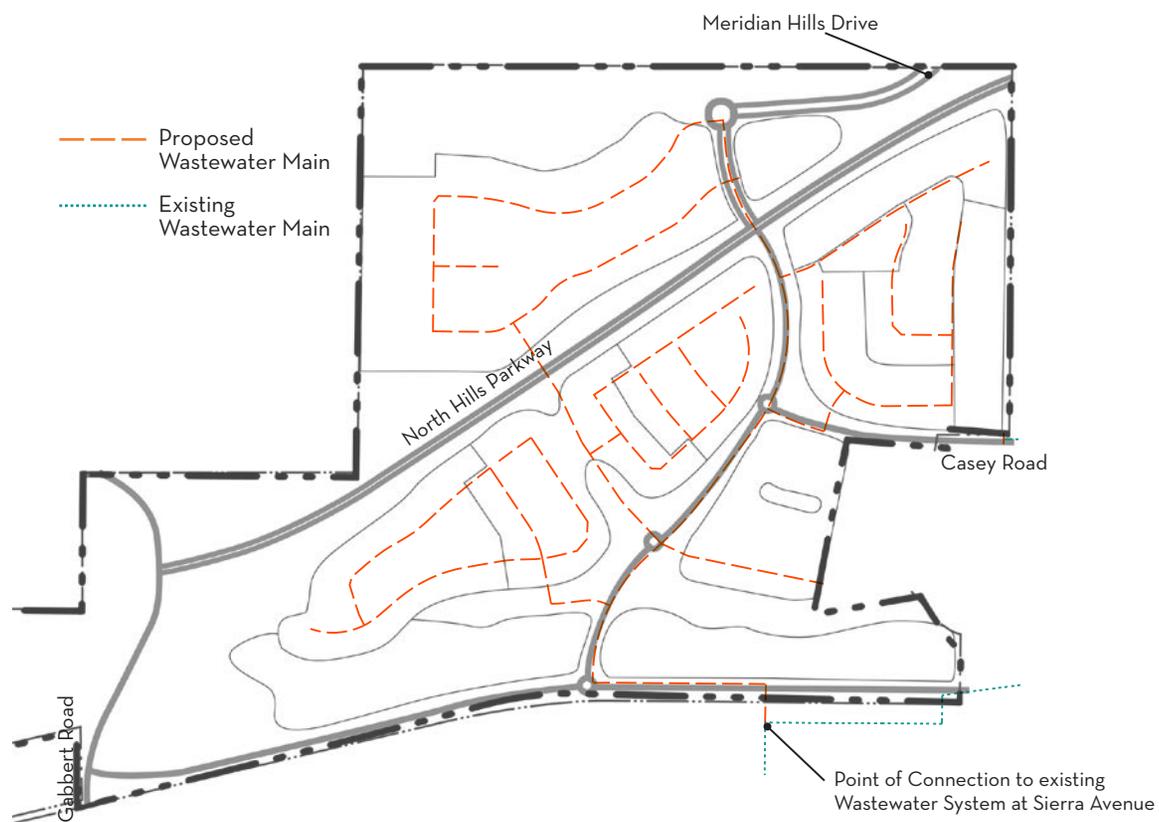


Figure 3-3: Wastewater System

existing wastewater system. Any developer constructing a new wastewater line is required to coordinate the construction and dedication of any such wastewater system with District No. 1 for future operation and maintenance. It would then be the responsibility of the

District to upgrade the wastewater collection and treatment system by providing relief for existing trunk lines nearing capacity and expanding treatment facilities.

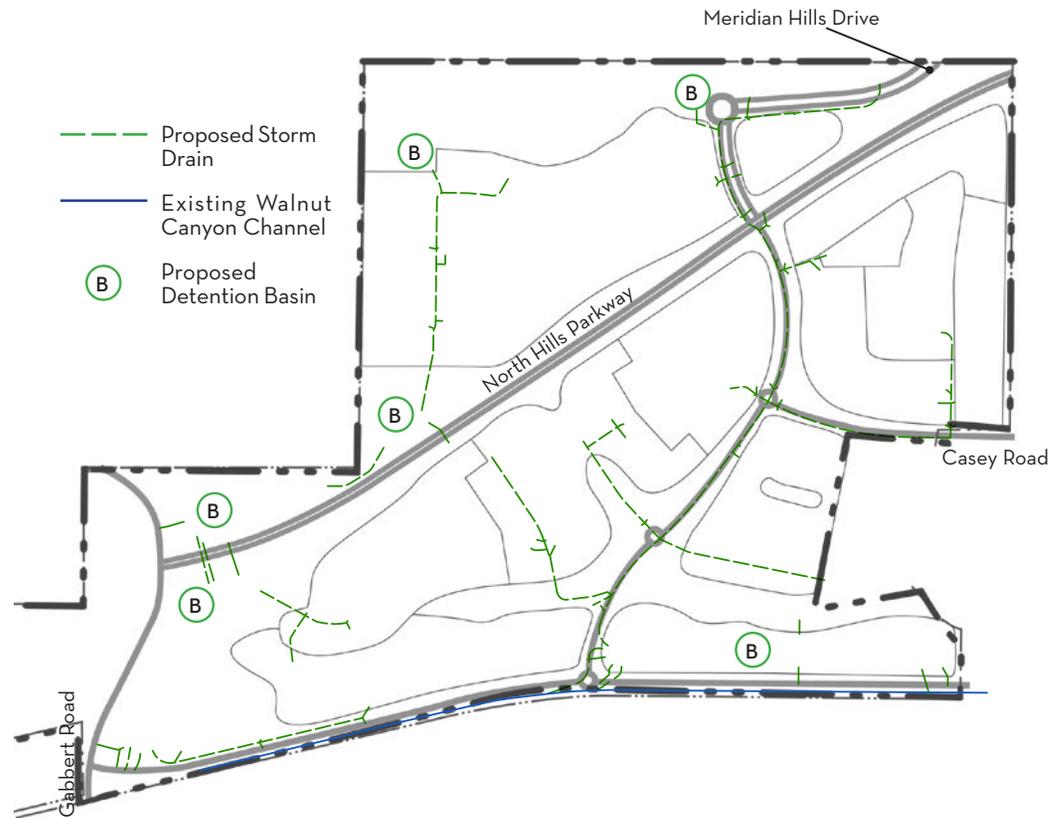


Figure 3-4: Storm Water Drainage

3.2.3 Storm Water Drainage

The City of Moorpark has determined that a storm drain system should meet criteria based upon a 50-year frequency storm runoff to provide an acceptable level of protection

when combined with the requirements that the building pads be above a 100-year frequency storm flood level. This is consistent with the Ventura County Watershed Protection

Agency (VCWPA) design criteria for larger regional facilities, which is based on the 50-year storm with adequate freeboard to contain the 100-year storm runoff. In general, it is a City requirement that all new structures be protected from the 100-year frequency storm runoff. City policy includes the requirement that during a 100-year frequency storm, any ponded water surface is to remain at least one foot below any residential pad or commercial finished floor in the proximity. This is compatible with the Federal Emergency Management Agency’s (FEMA) Flood Insurance Program.

Based upon existing ungraded topography, the site generally drains southerly towards the Walnut Canyon Channel. The Walnut Canyon Channel is an improved concrete channel that is eight feet wide at the bottom and is five feet high along its sides with additional earthen freeboard above the top of the concrete channel.



A regional watershed master plan for the Walnut Canyon Channel has been prepared by the VCWPA. The regional watershed master plan for Walnut Canyon is presented in the “Gabbert and Walnut Canyon Channels Flood Control Deficiency Study”, dated March 1997.

The regional watershed master plan has identified master planned flood control facilities within the Walnut Canyon Creek watershed to mitigate the existing hydraulic deficiencies of the regional channel system. The residential development areas of the Hitch Ranch Specific Plan are not within any FEMA-designated Flood Plain Zone. However, three of four detention basins proposed in

the regional master plan are located within the Specific Plan area. The basins within Hitch Ranch shall be constructed in Phase 1 and Phase 2 of the project implementation and maintained by special assessment and may be utilized for public recreational uses, subject to approval by the City of Moorpark. The other detention basin is located upstream of the Specific Plan area. The storm water drainage plan shall be consistent with the provisions of the City of Moorpark Drainage Ordinances. Figure 3-4 illustrates the Storm Water Drainage System.

3.2.4 Natural Gas

The Southern California Gas Company (SCG) is the supplier of natural gas to the County of Ventura, including the City of Moorpark. The availability of natural gas is based upon recent conditions of gas supply and regulatory policies. As a public utility, the SCG is under the jurisdiction of the California Public Utilities Commission and can be impacted by changes which may affect availability of supply. Gas service will be provided in accordance with any revised conditions. The regional gas supply is primarily from Texas via the El Paso Gas Company’s pipeline to Southern California. The size and location of lines that would serve the proposed project would be determined at the time individual tract maps are prepared for each phase of the project.

3.2.5 Electricity

Southern California Edison (SCE) provides electrical service to the project site. Electrical power is provided to the City of Moorpark and the Specific Plan area by 11 high voltage overhead electrical lines in two separate easements. The

western most easement carries four 220 kV lines. These lines, referred to as the “Moorpark-Ormond Beach 220 kV lines,” run north out of the Moorpark Substation, which is located south of the project site, onto the project site, and make a 90 degree turn to the west. These four 220 kV lines carry current three months a year, during peak use and summer months. For the remainder of the year, the lines carry no current. Overall, these lines carry approximately 750 amperes per circuit when in use.

A second easement, located to the east of the Moorpark-Ormond Beach easement, also travels north out of the Moorpark Substation, crossing the project site in a north/south direction. Seven lines are located within this easement. The lines, from east to west, include the Gabbert 16 kV line; the Saugus-Moorpark-Santa Susana-Torrey 66 kV line; the Moorpark-Pardee No. 3, 2 and 1 220 - kV lines; and the Moorpark-Santa Clara No. 1 and 2 - 220 kV lines. These seven circuits are in operation throughout the year; however,

line loads do change based on user needs. During the summer months, when electricity demand is the greatest, line loads would be the highest, ranging from 135 amperes on the Gabbert 16 kV line, to 340 amperes on the Moorpark-Pardee 220 kV lines. Conversely, during the winter months when electricity demand is lower, line loads will be reduced.

The project area will be served by an interconnected series of underground SCE distribution lines and transformers to be designed for phased installation as part of the development of the Specific Plan area.

3.2.6 Communication

Telephone service is provided under contract to the City by AT&T. The existing lines are located both east and west of the Specific Plan area and would be extended to the area to serve the approved uses. All telephone service lines within the Specific Plan area shall be underground.

Cable television service is provided to the City by Spectrum Communications. The existing cables are located east of the Specific Plan area and would be extended to the area in underground cable systems to serve the approved uses.

3.2.7 Infrastructure Responsibility

Table 3-1 summarizes the infrastructure and utilities required to serve the Specific Plan area and identifies the responsible parties for construction, funding, maintenance, and administration of those facilities. A Community Facilities District (CFD) or other financing mechanism may be established to provide funding for components of infrastructure construction and/or maintenance obligations.

TABLE 3-1 INFRASTRUCTURE RESPONSIBILITY SUMMARY

Service/Facility	Construction & Funding Responsibility			Maintenance Funding	Project Administration
	Off-Site Improvements	Backbone Improvements	In-Tract Improvements		
Streets/Water/Sewer					
Backbone Circulation	Master Project Applicant	Master Project Applicant	Merchant Builder	Road Fund	City of Moorpark
Potable Water	Master Project Applicant	Master Project Applicant	Merchant Builder	Water Fees	Water Works District #1
Reclaimed Water	Master Project Applicant	Master Project Applicant	Merchant Builder	Water Fees	Water Works District #1
Sanitary Sewer	Master Project Applicant	Master Project Applicant	Merchant Builder	Sewer Fees	Water Works District #1
Flood Control/Drainage					
In Streets	Master Project Applicant	Master Project Applicant	Merchant Builder	Road Fund	City of Moorpark
Natural Drainage Courses	Master Project Applicant	--	Master Project Applicant	CSA/Special Taxes	City of Moorpark
Utilities					
Natural Gas	Not Applicable	Master Project Applicant/ SCG	Merchant Builder/ SCG	N/A	SCG
Electricity	Not Applicable	Master Project Applicant/ SCE	Merchant Builder/ Edison	N/A	Edison
Phone/Fiber Optics	Not Applicable	Master Project Applicant/AT&T	Merchant Builder/ AT&T	NAs	AT&T
Cable TV	Not Applicable	Master Project Applicant/ Private Facilitator	Merchant Builder/ Private Facilitator	N/A	Cable Operator



4

Chapter

DESIGN GUIDELINES

4.1 DESIGN PHILOSOPHY AND GUIDELINES FRAMEWORK

The Design Guidelines Chapter provides the design framework for streetscape, landscape and buildings to convey a unified and unique community character. They establish a direction to ensure a high-quality and aesthetically cohesive environment. While these Guidelines establish the quality of the architectural and landscape development for Hitch Ranch, they are not intended to prevent alternative designs and/or concepts that are compatible with the overall project theme. As a flexible document, the Guidelines can accommodate changes in lifestyles, consumer preferences, economic conditions, community designs and the marketplace, as necessary.



The architectural and landscape guidelines complement each other. Together they combine to form a distinctive plan offering a high quality environment and a distinct community identity.

The following principles will guide the architecture to ensure quality implementation:

- Use architectural elements and details that reinforce the architectural styles.
- Choose appropriate massing, roof forms, colors and materials to define the architectural styles.
- Ensure that plans and styles provide a degree of individual identity while being compatible.
- Provide a varied and interesting street-scene.

4.2 COMMUNITY CHARACTER

The setting for Hitch Ranch provides a unique opportunity to create a cohesive community character. This character will be captured through carefully integrating the architecture, natural assets, and landscape into the community design. The character of the Specific Plan design elements will draw from these assets and will also be founded upon the heritage of the historical aspects of the surrounding region. Residential designs should incorporate design principles reminiscent of established residential neighborhoods, while providing a rich and elegant statement when entering the project area. Buildings should relate to the human scale in their forms, elements, and details.

Neighborhood Organization

Hitch Ranch will be organized into four Planning Areas (PAs). Each area will contain specific housing typologies to provide a wide variety of housing options to accommodate various lifestyles and household compositions. The four PAs although unique in their home sizes, will all be connected through open space, trails and tree lined roads. The landscape features will bring cohesion to the four PAs as well as the architecture.

By allowing a range of architectural styles and home types within the overall community, monotony and repetitiveness will be avoided. This variety of land use density and design will accommodate a diversity of lifestyles and market desires, creating a rich fabric to the community character.

4.3 LANDSCAPE CONCEPT

The Hitch Ranch landscape concept seeks to unify the diverse planning elements of both the site and its surroundings, which tie the entire project together. Drawing from the historical downtown nearby and the heritage of the area, the landscape elements will recall Old California through the use of native and naturalized plant materials such as sycamores, oaks and native grasses. This Old California sense will carry through from the drought-tolerant and indigenous plants to the hardscape features including decorative walls, signs and monuments. All planting will comply with fuel modification guidelines and High Fire Severity Zone requirements.

A detailed planting palette has been carefully selected for the project. The primary goal is to incorporate species that are already well established in Moorpark, including a variety of traditional trees and shrubs historically found in the area. Plant selection factors include compatibility with local soils, the micro and macroclimates throughout the site, the plant's ability to merge into the existing natural environment and drought tolerance. For an overview of the overall landscape concept, please refer to Table 4-1 on the following pages.



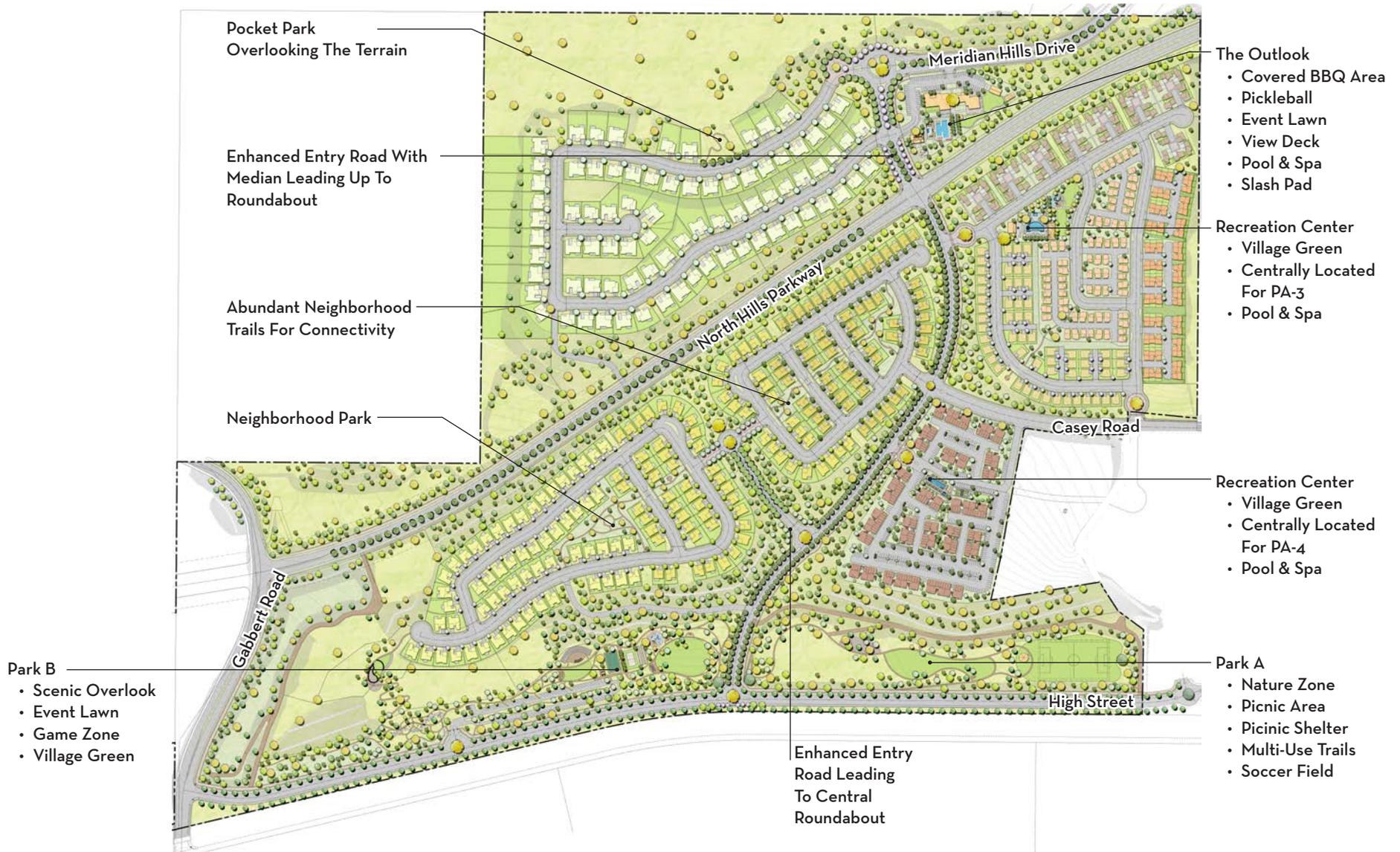


Figure 4-1: Overall Conceptual Landscape Plan

TABLE 4-1 MASTER PLANT PALETTE

Slopes / Common Area Trees

<i>Arbutus x 'marina'</i>	Strawberry tree
<i>Cercis occidentalis</i>	Western redbud
<i>Lyonothamnus floribundus</i>	Catalinia ironwood
<i>Quercus agrifolia</i>	Coast live oak
<i>Plantanus racemosa</i>	California sycamore

Background Shrubs

<i>Arbutus unedo</i>	Strawberry tree
<i>Aloe species</i>	Aloe
<i>Rhamus californica 'eve case'</i>	Coffeeberry
<i>Carpenteria californica</i>	Bush anemone
<i>Cistus ladanifer</i>	Crimson spot rockrose
<i>Dendromecon harfordii</i>	Island bush poppy
<i>Garrya elliptica</i>	Coast silktassel
<i>Myrica californica</i>	Pacific wax myrtle
<i>Phlomis fruticosa</i>	Jerusalem sage
<i>Rhamnus californica</i>	California coffeeberry
<i>Rhus integrifolia</i>	Lemonade berry
<i>Rhus ovata</i>	Sugar bush
<i>Ribes indecorum</i>	White flowering currant
<i>Trichostema lanatum</i>	Wooly blue curls

Understory Shrubs & Groundcovers/Accents

<i>Agave americana</i>	Century plant
<i>Agave attenuate</i>	Foxtail agave
<i>Cistus salvifolius</i>	Sageleaf rockrose
<i>Iris douglasiana</i>	Douglas iris
<i>Opuntia species</i>	Prickly pear
<i>Penstemon species</i>	Beard tongue
<i>Romneya coulteri</i>	Matilija poppy
<i>Yucca species</i>	Yucca

Streetscapes Plant List - Trees (Max 40' O.C.)

<i>Arbutus x 'marina'</i>	Strawberry tree
<i>Koelreuteria bipinnata</i>	Chinese flame tree
<i>Lagerstroemia indica</i>	Crape myrtle
<i>Liriodendron tulipifera</i>	Tulip tree
<i>Pistacia chinensis</i>	Chinese pistache
<i>Platanus racemosa</i>	California sycamore
<i>Pyrus kawakamii</i>	Evergreen pear
<i>Quercus virginiana</i>	Southern live oak
<i>Ulmus parviflora 'true green'</i>	Chinese elm
<i>Robina ambigua</i>	Locust

Background Shrubs

<i>Dietes bicolor</i>	Fortnight lily
<i>Grevillea species</i>	Grevillea
<i>Leucophyllum frutescens</i>	Texas ranger
<i>Ligustrum japonicum</i>	Wax-leaf privet
<i>Phlomis fruticosa</i>	Jerusalem sage
<i>Pittosporum tobira</i>	Japanese mock orange
<i>Rhamnus californica</i>	California coffeeberry
<i>Rhus integrifolia</i>	Lemonade berry
<i>Rhus ovata</i>	Sugar bush
<i>Ribes indecorum</i>	White flowering currant
<i>Rhaphiolepis species</i>	Hawthorn
<i>Rosa 'carpet red'</i>	Carpet rose
<i>Westringia fruticosa 'mundi'</i>	Dwarf coast rosemary

Foreground Shrubs & Groundcovers/Accents

<i>Achillea millefolium 'moonshine'</i>	Yarrow
<i>Ajuga reptans</i>	Carpet bugle
<i>Carissa macrocarpa</i>	Natal plum
<i>Cistus salviifolius</i>	Sageleaf rockrose
<i>Festuca rubra</i>	Red fescue
<i>Gazania species</i>	Gazania
<i>Grevillea lanigera</i>	Grevillea
<i>Helictotrichon sempervirens</i>	Blue oat grass
<i>Hemerocallis species</i>	Daylily
<i>Iris douglasiana</i>	Douglas iris
<i>Limonium perezii</i>	Sea lavender
<i>Myoporum parvifolium</i>	Prostrate myoporum
<i>Penstemon species</i>	Beard tongue
<i>Punica granatum 'nana'</i>	Dwarf pomegranate
<i>Romneya coulteri</i>	Matilija poppy

Turf

Sodded tall-type water conserving hybrid bermuda

Project/Neighborhood Entries

Trees:

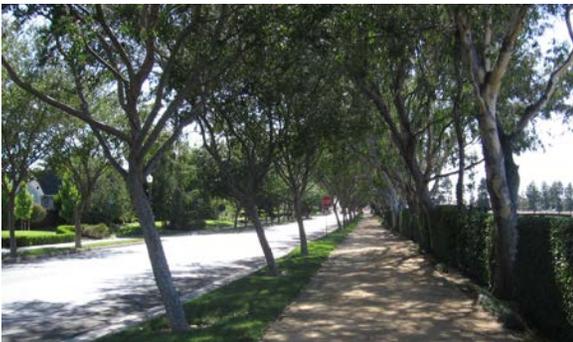
<i>Agonis flexuosa</i>	Peppermint tree
<i>Arbutus 'marina'</i>	Arbutus
<i>Feijoa sellowiana</i>	Pineapple guava
<i>Laurus nobilis</i>	Sweet bay
<i>Magnolia grandiflora</i>	Southern magnolia
<i>Plantanus racemosa</i>	California sycamore
<i>Prunus caroliniana</i>	Carolina laurel cherry
<i>Quercus agrifolia</i>	Coast live oak

Background Shrubs

<i>Aloe aroscens</i>	Aloe
<i>Cistus ladanifer</i>	Crimson spot rockrose
<i>Dietes bicolor</i>	Fortnight lily
<i>Grevillea species</i>	Grevillea
<i>Ligustrum japonicum</i>	Wax-leaf privet
<i>Rhamnus californica</i>	California coffeeberry
<i>Rhus integrifolia</i>	Lemonade berry
<i>Rhus ovata</i>	Sugar bush
<i>Ribes indecorum</i>	White flowering currant
<i>Rhaphiolepis species</i>	Hawthorn
<i>Westringia fruticosa 'mundi'</i>	Dwarf coast rosemary

Foreground Shrubs & Groundcovers/Accents

<i>Achillea millefolium 'moonshine'</i>	Yarrow
<i>Agave species</i>	Agave
<i>Aloe species</i>	Aloe
<i>Achillea millefolium 'moonshine'</i>	Yarrow
<i>Carissa macrocarpa</i>	Natal plum
<i>Cistus salviifolius</i>	Sageleaf rockrose
<i>Erigeron glaucus</i>	Seaside daisy
<i>Eschscholzia californica</i>	California poppy
<i>Festuca ovina glauca</i>	Blue fescue
<i>Festuca mairei</i>	Atlas fescue
<i>Fragaria chiloensis</i>	Wild strawberry
<i>Gazania species</i>	Gazania
<i>Hemerocallis species</i>	Daylily
<i>Iris douglasiana</i>	Douglas iris
<i>Kniphofia uvaria</i>	Red-hot poker
<i>Lavandula species</i>	Lavender
<i>Limonium perezii</i>	Sea lavender
<i>Myoporum parvifolium</i>	Prostrate myoporum
<i>Penstemon species</i>	Beard tongue
<i>Punica granatum 'nana'</i>	Dwarf pomegranate
<i>Pyracantha 'santa cruz'</i>	Firethorn
<i>Romneya coulteri</i>	Matilija poppy
<i>Rosa x 'ice cap'</i>	Rose
<i>Sisyrinchium bellum</i>	Blue eyed grass
<i>Westringia fruticosa 'mundi'</i>	Dwarf coast rosemary



4.3.1 Landscape Concept for Major Roads

North Hills Parkway

A sense of place is created when traversing the project by the planting of distinctive trees such as oaks and sycamores. Landscaped roundabouts, parkways and medians with shrubs, trees and irrigated parkway plantings will gradually transition into a more natural and native landscape environment.

Rural Collector/ "A" Street and Meridian Hills Drive

These roadways reflect a rural and natural environment with multi-use trails on the easterly portion of the street. Rail fencing and groundcover will separate the vehicle lane from the decomposed granite (DG) trail area. Ample trees with slope plantings and minimal turf will distinguish this roadway.

Local Collector/Casey Road and High Street

These roadways reflect a more urban environment and provides a connection to the project from the east. More formal street trees and drought-tolerant shrubs and ground cover are planned for the parkways. As the land slopes away from the roadway the landscape will transition to more native grasses in indigenous plant materials.

4.3.2 Landscape Concept for Neighborhood Entry Features

The Old California character will create a strong first impression when entering the project area. Special plant materials will be used to denote each of these areas. Native trees, wildflowers, rock, stone and railing fences will be used to reflect a natural and equestrian environment. Oaks and sycamores, along with meadow grasses with wildflowers are proposed. Each neighborhood entry is also enhanced with a roundabout (Figure 4-2, 4-3, 4-4, 4-5).



Figure 4-2: High Street Entry and Landscape Concept



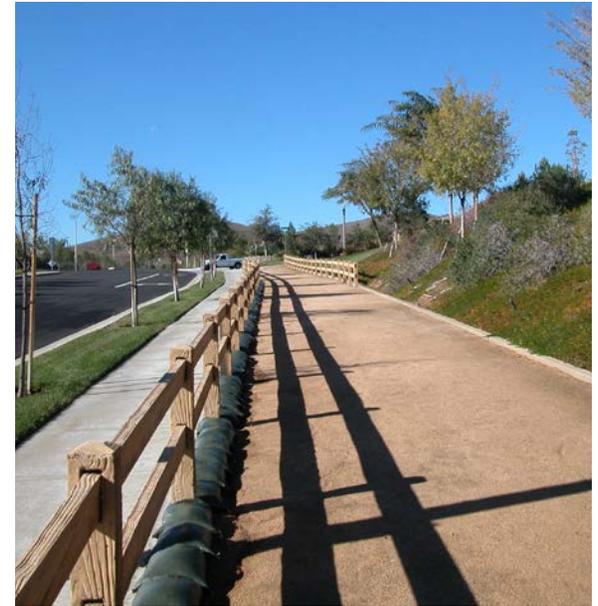
Figure 4-4: PA-2 Entry and Landscape Concept



Figure 4-3: PA-1 Entry and Landscape Concept



Figure 4-5: PA-3 Entry and Landscape Concept



4.3.3 Landscape Concept for Multi-Use Trail Areas

Multi-use trails will be constructed along Meridian Hills Drive, A Street, High Street, and Gabbert Road as shown in the Parks, Open Space and Trails Plan (Figure 4-6). The trails will be designed for use by hikers, bikers and the equestrian community and will connect

to existing and planned local and regional trail systems. Additionally, an improved trail parking and staging area could be provided at either the east side of Gabbert Road and High Street or in the proposed neighborhood park.



Figure 4-6: Parks, Open Space and Trails Plan

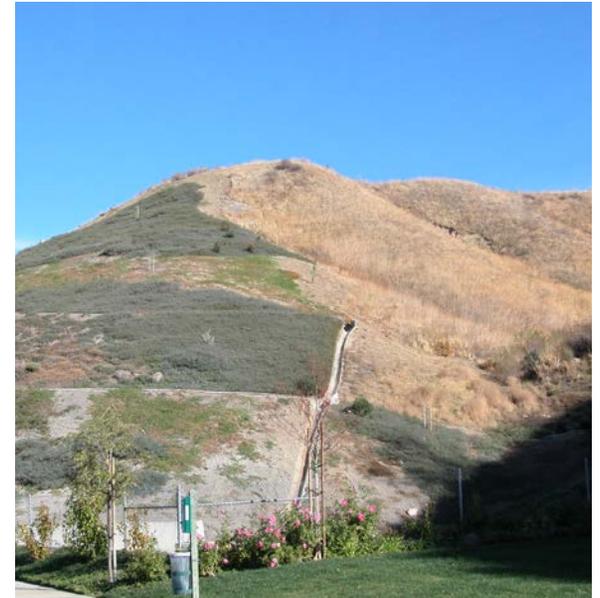
4.3.4 Landscape Concept for Residential Areas

There are several distinct residential neighborhoods. Each will have its own identity created by lot size, architecture, housing and location within the community. The landscape concept for each neighborhood will be an extension and refinement of the Master Landscape Concept, but will also have unique characteristics that define the neighborhood and make it distinctive.



4.3.5 Landscape Concept for Open Space Areas/ Fuel Modification Zone

Two types of open space shall be provided: conservation areas and Fuel Modification Zones. The conservation areas shall be left in their natural state or planted with native species. The location of Fuel Modification Zones will be determined following the plotting of the buildings as part of the tentative tract map submittals. The Fuel Modification Zones will be extended to 200 feet surrounding all structures within the Specific Plan area (Figure 3-1). Plant materials shall consist of low-fuel shrubs, trees and groundcover as determined by the County Fire Department or its designee.



4.3.6 Landscape Concept for Public & Private Recreation Areas

The landscape concept for each private recreation area will complement the neighborhood in which it is located and serve as an extension and refinement of the Master Landscape Concept.

The Outlook

The jewel of Hitch Ranch, The Outlook will serve as the main recreation area for the community. Inclusive of a pool, fitness center and clubhouse building, the Outlook will bring families and friends together for a range of activities. The Outlook will be inclusive of other programmed spaces such as an event lawn, BBQ facilities and a view deck (Refer to Figure 4-7).



Figure 4-7: The Outlook

PA-3 Recreation Area

The recreation area in PA-3 is located at the entrance of the Planning Area, providing a visual landmark upon entering the enclave. Along with pool facilities, this recreation area will have restrooms, bike racks, picnic areas and a Village Green for passive recreation (Refer to Figure 4-8).



Figure 4-8: PA-3 Recreation Area Conceptual Plan

PA-4 Recreation Area

Similar to the PA-3 recreation area, PA_4 will also provide a private pool area, bike racks, restrooms, picnic areas and a Village Green. Also located at the main entry of PA-4, this recreation area welcomes people home as they enter the neighborhood (Refer to Figure 4-9).



Figure 4-9: PA-4 Recreation Area Conceptual Plan

Park A

Park A is located east of Street A along the north side of High Street. This linear park will not only serve as a visually impactful entry feature adjacent to the Civic Center, but it will host a sports field, nature zone, the multi-use trail and a lawn for picnicking and walking (Refer to Figure 4-10). Vehicle parking is provided with approximately 70 parallel on-street parking spaces along the north side of High Street with direct pedestrian access to the park.



Figure 4-10: Park A Conceptual Plan

Park B

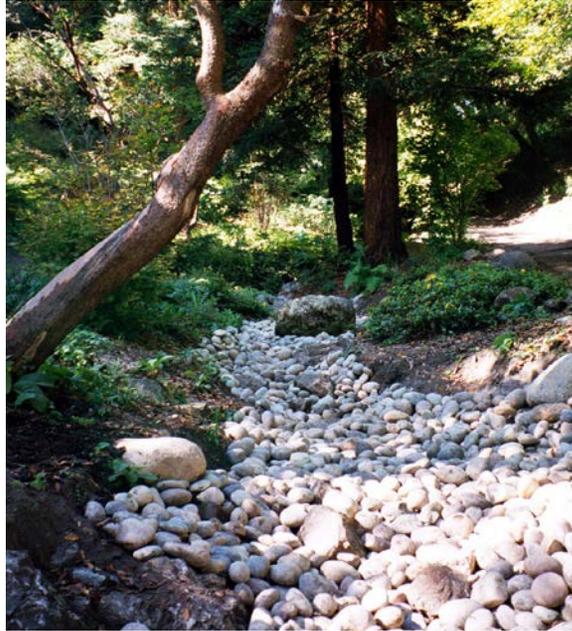
Park B is located west of Street A along the north side of High Street. This linear park which is a continuation of Park A, will include additional sports facilities including a basketball court, a volleyball sand court, a Village Green with picnic locations and walking paths, as well as an event lawn with an amphitheater, tot lot and picnic tables. The multi-use trail continues from Park A to Park B and scenic view locations further exemplifies the unique location of Hitch Ranch (Refer to Figure 4-11). Parking for more than 140 total vehicles is provided in the onsite parking lot and in parallel on-street parking proposed along the north side of High Street.



Figure 4-11: Park B Conceptual Plan

4.3.7 Landscape Concept for Storm Water Detention Areas

The Specific Plan area contains three detention areas totaling approximately 27.9 acres. These areas will primarily serve to temporarily collect and detain storm water drainage from the neighborhoods and surrounding areas. Due to the limited need for such detention areas during much of the year, the basin located just north of High Street will be landscaped with separate areas of playfield and native grasses and plants selected in cooperation with the Ventura County Watershed Protection District to prevent erosion, provide a “green” visual effect, and allow for long term local maintenance of the basin.



4.3.8 Landscape Concept for Walls and Fences

Walls and fences help to define and enhance the visual character of the community. Hitch Ranch utilizes various wall and fence designs to provide aesthetic variety, maximize view opportunities and enable privacy (Refer to Figure 4-12).



WALL and FENCE KEY:

1		6 FT. SLUMP BLOCK WALL COLOR: TBE
2		LOW SLUMP BLOCK WALL w/ TUBULAR STEEL FENCE COLOR: TAN BLOCK w/ DARK BROWN METAL
3		5-FT. TUBULAR STEEL VIEW FENCE COLOR: DARK BROWN METAL
4		TUBULAR STEEL FIRE ACCESS GATE - EXIT CONTROLLED BY IN-ROAD SENSOR ENTRY CONTROLLED BY VIDEO KNOX BOX COLOR: DARK BROWN METAL
5		EQUESTRIAN TRAIL FENCE

NOTE: SLUMP BLOCK PLUSTERS TO BE LOCATED 6" O.C. OF PROPERTY LINE INTERSECTIONS IN REAR YARDS

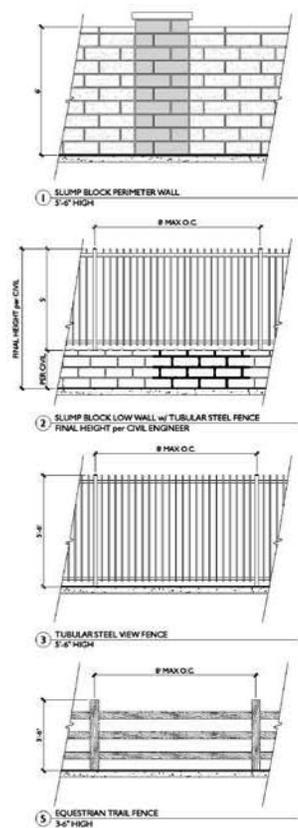


Figure 4-12: Master Wall and Fence Plan

Residential

Landmarks and entry features are an important element of community design and are fundamental in creating a sense of place. Entry features can be simple and attractive, but should reflect the overall architectural identity of the neighborhood. Project icons, thematic pilasters, and specialty landscaping can be used to create strong entry statements that identify the overall neighborhood. Materials will vary somewhat depending on the function of the wall. Landscaping such as trees, shrubs or vines should be used to soften the appearance of the walls.

Figures 4-13 and 4-14 illustrate an Entry Landscape Concept that could be applied to Planning Area II and adapted throughout each Planning Area.

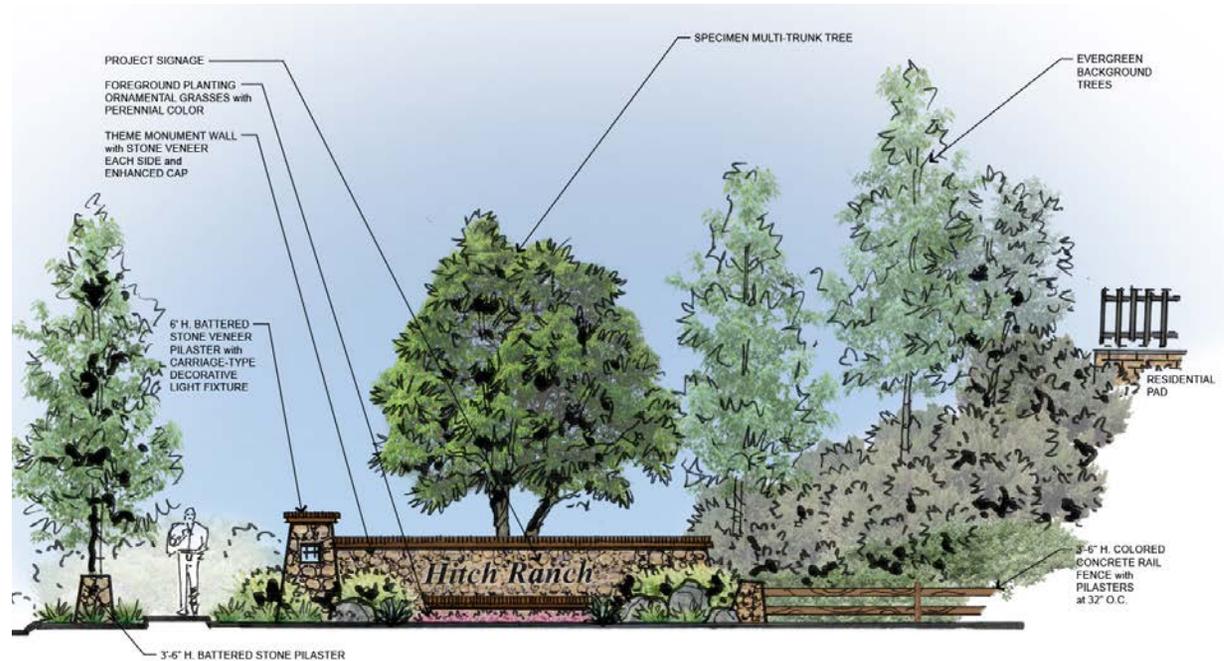


Figure 4-13: Entry Landscape Concept

Neighborhood Entry Walls

- Entry features shall be consistent with the details outlined on Figures 4-12 to 4-15. Walls should be accented with pilasters with rail fencing where appropriate (Figure 4-15). Pilaster walls are to have brick or stone cast capping. This trim cap design shall be carried through the residential project area and shall be applied to residential walls visible from streets or from a corner.
- Entry features shall be located at primary neighborhood entry points.
- Monuments and signage should be consistent with and reflect the overall character of the neighborhood.
- Entry features should be integrated into a landscape setting. Landscaping adjacent to neighborhood entry fences should have meadow grasses with wildflowers and distinctive trees such as specimen oaks and/or sycamore trees.

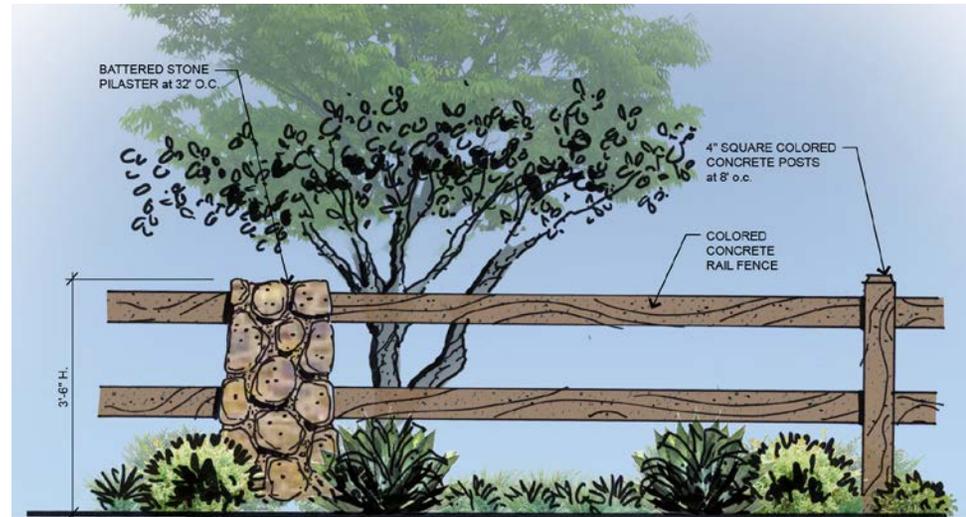


Figure 4-14: Landscape Accent Fencing

Privacy Walls

- The maximum height for all residential fencing shall be six feet (Figure 4-15) measured vertically from the average finished grade at the base of the fence or wall.
- Side yards requiring a retaining wall shall require a minimum horizontal separation of three feet between the side yard wall and the retaining wall to allow for planting.
- All fencing and walls must be of plaster, stucco, concrete, earth-tone slump stone or masonry finish. Finish colors shall be approved by the City and be consistent with the neighborhood planning area and used uniformly within that Planning Area.
- Fences and walls adjacent to major roadways (“A Street”, Casey Road, North Hills Parkway, or on a corner within a Planning Area) should be solid and the height necessary to attenuate noise as recommended within the environmental document for the project.

Planning Area I Fencing of Lots Adjacent to Open Space Areas

In order to take advantage of the view of open space areas and to create a project with an open feel, lots which abut open space areas shall have open theme view fencing. These fences shall be wrought iron, with split faced block pilaster. The maximum height of this wall shall be six feet (Figure 4-15).

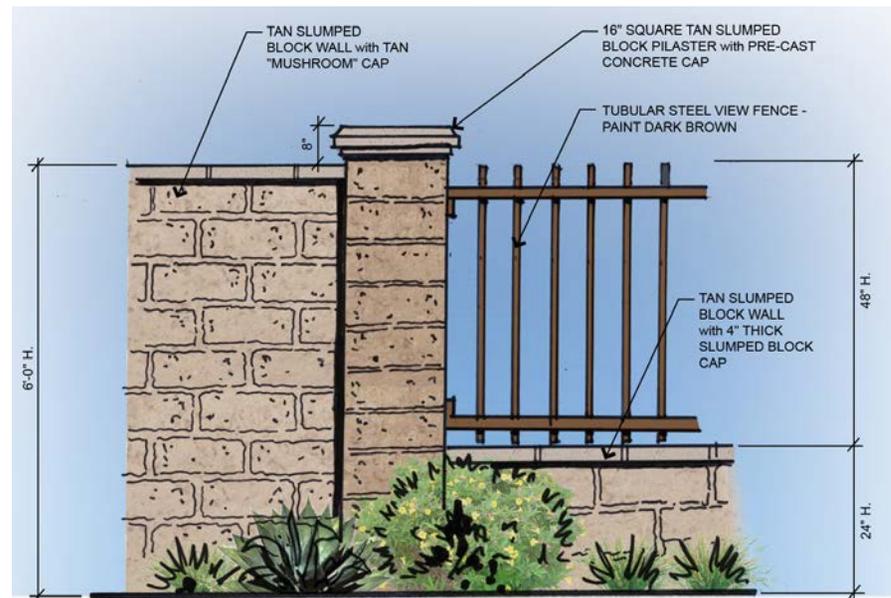


Figure 4-15: Fence Concept

4.4 ARCHITECTURE

Architecture is a key component of the appearance of the Specific Plan area. These design guidelines provide general design criteria and guidance with the goal of promoting visual compatibility while allowing for individuality and architectural diversity.

This section provides the overall design objectives for the Residential uses within this Specific Plan area.

4.5 ARCHITECTURAL STYLES

These design guidelines are intended to be a guide and are meant to be flexible. It is not the intent of these design guidelines to require that all of the identified design components and elements be incorporated into the actual building designs. Rather, these guidelines serve as a “palette” of character defining elements that can be used to create authentic and distinct architecture.

Design Principles

Providing a mix of styles minimizes monotony and encourages interest. The multi-style street-scene should be diverse as to architectural styles, features, windows, front doors, garage doors, materials and colors.

Starting with the authentic and transforming to a progressive version of the base style is acceptable. Traditional styles tend to have defining features that should be consistently implemented across the product offering. Moving to a more contemporary version of traditional styles should still embrace defining features so that the style is recognizable but understood to be a contemporary interpretation.

Authentic Adaptations

Recognizable authentic architecture is based on traditional forms, materials and details that reasonably express the heritage of a particular style. Historically derived, or authentically adapted elevations continue to focus on

forms and details, but allow for the integration of modern materials, colors and artistic interpretation to generate a contemporary, yet recognizable expression of an architectural style. Historically adapted elevations combine these notions into physical reinterpretation of an architectural style.

Authentic adapted elevations should express a recognizable architectural style but can use artistic design to incorporate new, modern or progressive forms, details and materials in the modern context of architecture.

The following styles pays homage to Hitch Ranch’s past and also nods to the community’s future. A timeless appearance and the warmth of home is key.

Additional styles may be proposed however, they must follow the same principles and attention to detail as the specific styles provided. Newly introduced styles must be compatible with the overall Hitch Ranch community aesthetic.

4.5.1 Ranchero Collection

Progressive Hacienda

The Hacienda was the primary focus of the ranches developed by the early Californian settlers. Representing one of California's true vernacular styles, the Hacienda developed naturally from local indigenous materials with considerations of climate and lifestyle.

The primary building materials were adobe, clay tile roofs, and wood detailing. In later years, the Hacienda was adapted to include wood shingles for roofs, board and batten siding, and other colonial features introduced in Monterey. Plans were typically organized around a courtyard, which became one of the primary living spaces. The houses were generally simple and straight forward with thick adobe walls.

In the mid 1930s, Cliff May began adapting the Hacienda design into a "ranch" layout for family living. His designs maintained much of the authentic character of early "ranchos" with contemporary materials.

While still using the traditional forms, this style lends itself to modernization by including contemporary elements such as iron awnings, sliding barn doors, and a combination of traditional light fixtures and contemporary lighting strategies. These methods pull the 'old' and the 'new' together, resulting in a warm Spanish feel with a contemporary flair.



Progressive Spanish

The most notable characteristics of the Spanish style include “S” tile roofs, stucco walls, recessed entry doors and porticos, highlighted ornamental iron work and carefully proportioned windows appropriate to their wall mass. Casual composition of forms that may include a formal entry statement and arched doors and windows, along with deep recesses and varied eave design are also found in this architecture. The charm of this style choice lies not only in its directness, adaptability and contrasts of materials and textures, but in its ability to evolve within itself by allowing multiple creative design solutions using similar elements, textures, and colors.



4.5.2 Heritage Collection

Agrarian

The Agrarian style has grown out of the early Colonial development in the 1700s. As the American Frontier moved westward, the Agrarian style evolved according to availability of materials and technological advancements.

The Agrarian style focuses on simple, honest and unadorned design, expressing simple massing, well-proportioned windows and doors, steeper roofs. Although expressed as a wood framed structure and utilizing siding, stucco is also now incorporated. The beauty is in the style's simplicity and the artful architectural balance it provides. Homes that are representative of this style project rustic and warm characteristics.



Progressive Farmhouse

The Farmhouse style captures the spirit of the California agrarian living. Homes reflect an airy connection to the outdoors with simple forms and vertical windows. The style uses a play of materials from light to earthy stone colors and a mix of old traditional and new progressive materials. The style is based on familiar farmhouse shapes. Gable and cross gable roof forms are accented by shed dormers. Use of materials connect the style to the agricultural past with stucco, stone and siding materials and metal roof accents. .

The modernized interpretation of this style captures the spirit of the California agrarian living. Homes reflect an airy connection to the outdoors with simple forms and vertical windows. The style uses a play of materials from light to earthy stone colors and a mix of old traditional and new progressive materials. Use of materials connect the style to the agricultural past with stucco, stone and siding materials and metal roof accents. The Progressive interpretation blends the sleek clean lines of contemporary design with warm farmhouse charm to create a uniquely fresh take on this country living inspired style.



Progressive Traditional

Traditional style as manifested in Southern California was often realized as an East Coast derived expression with Cape Cod influences, and displayed the aspects of practicality and functional elegance. This expression evolved from early Colonial beginnings and truly began to proliferate as an American building style from the 1850s to the early 20th century. In Southern California, the style was employed from the foothill neighborhoods of Pasadena to Los Angeles communities such as Westwood and was occasionally used in combination with the Monterey and Ranch styles to create homes which opened to the exterior gracefully yet retained a sense of formality and reserve.

Features of this style include simple gable roof forms, louvered shutters, and articulated entry surrounds. Dormers and second-floor wood decks are also occasionally used.

Current interpretations have maintained the simple elegance of the early prototypes with added refinements and new design details. The massing and form of the Progressive version is reminiscent of early American heritage but with simpler lines and contemporary details. Roofs are simple in form most often with accent gables. This progressive style has a fresh appeal while retaining its charming origins.



4.5.3 Homestead Collection

Contemporary

The Contemporary style represents the current thinking in design. This style is composed of simple, rectangular geometric forms with generous windows areas, accented by bold use of materials and color. Flat roofs are typical but pitched roofs may also be utilized.



Mercantile

Mercantile originated as a European economic theory during the 16th to 18th Centuries. Its practices involved trade and the excess of exports over imports. In natural progression, this translated to retail and commerce. Today's Mercantile architecture reflects storefront aesthetic with large windows, earthy materials and horizontal features.



Prairie

The roots of Prairie architecture began in the late 1800s with the “Oak Park” and “River Forest” houses of Frank Lloyd Wright. The Prairie School of architecture came to California with its own unique interpretation. The style is characterized by horizontal expressions and proportions. Horizontal proportions provide an “earthy” feel while the lower pitched roof often seems to float with its deep overhangs.

The School invented new decorative motifs and reflected details derived from a European precedent. The Prairie style in its vernacular form spread throughout the country, along with Wright’s belief that a building should fulfill its primary function, but also exude character, life, spirit, beauty, and a vibrant environment.



4.6 ARCHITECTURAL PRINCIPLES - DETACHED

Building Form and Massing

Homes should be broken down into smaller components to reduce the massing volume. This can be achieved through a variety of architectural techniques and treatments such as:

- Varied roof forms and heights;
- Changes in materials and color;
- Architectural articulation; and
- Clearly defined entry features.

Edge and Corner Enhancements

Giving attention to edge and corner conditions visible from public spaces further promotes high quality aesthetics. Enhanced treatments and varied roof lines allow for visual diversity even when building types are repeated. Such enhancements include:

- Extra but appropriate window detailing;
- Varied roof lines;
- Upgraded or additional materials; and
- Enhanced front doors or porches.

Roof Form

Rows of homes seen from a distance or along large roads are perceived by their contrast against the skyline or background. The dominant impact is the shape of the building and roof line. Articulate the building mass and roof lines to express a variety of conditions and minimize the visual impact of repetitious flat planes, similar building silhouettes and similar ridge heights. Individual roof plans may be simple but between different plans.



Color and Materials

The use of color and materials is an essential ingredient to quality development. Successful applications of colors and materials improve the character and essence of the community.

The primary goal of color and materials palettes is to further enhance and define the architectural styles within this document. Equally important is the balance of diversity and harmony; variety of color and materials must be achieved within the context of a harmonious community.

Selected colors and materials should be appropriate to the styles they represent and used to further differentiate from the other styles.

Architectural screens, fences and accessory structures should be compatible in material, color and texture to the main buildings.

Materials & Finishes

Specific materials shall be identified for each architectural style. The chosen materials shall represent the specific architectural style enhancing the community aesthetic.

- Use complementary building materials that promote a harmonious appearance and provide interest and variety consistent with the architectural styles; and
- Where possible, use style-appropriate concrete roof tile blends; prohibit overly dramatic blends with extreme contrast.

Material finishes should express permanence and quality.

- Create a more solid and permanent appearance with stone or other masonry materials, particularly as accents;
- Install masonry using traditional methods;
- Avoid frequent changes in materials;
- Detail finishes properly with the architectural style; and
- Use high-quality, durable, low-maintenance materials.



Eave Paint

Eave paint shall match the fascia color (spray paint of the wall color on the eaves is prohibited).

Stucco

Stucco finishes should project high quality and be appropriate to the architectural style. Heavy Lace and Spanish Texture stucco finishes are prohibited.

Stucco Details

All stucco trim details (such as window surrounds, window sills, roof eaves, column details, lintels, etc.) must be constructed with a level of precision and accuracy to express the authentic execution of the style;

- Use clean, crisp and smooth stucco details;
- Use a different trim stucco finish or color from the wall stucco finish;
- No rough, “blob”-like and uneven stucco finish; and
- Carefully locate stucco control joints if applicable on elevation designs.

Material Wrapping

Architectural elements must not end at the corner of a building and shall wrap around the corner and extend to a logical terminus point that is incorporated into the overall architectural design.

Wrap columns, tower elements and pilasters entirely.

Wood

Wood is a material used in many architectural styles. However, maintenance concerns, a desire for long-term architectural quality and new high-quality manufactured alternative wood materials, make the use of real wood material less desirable. Where “wood” is referred to in this document, it can also be interpreted as simulated wood trim with style-appropriate wood texture.



Roof Materials

Roof materials, colors, and treatments should correspond to the individual character or style of the home and be compatible with the overall look of the neighborhood.

Ornamental Details

Use details that appear as functional elements and match the architectural style.

Gutters & Downspouts

Integrate gutters and downspouts into the home design when used.

Windows

Window details differentiate architectural styles and can provide a high level of architectural enrichment. The selection and proportion of the windows to the façade shall be responsive to the architectural style of the building. Size and shape shall be considered to assure a balanced relationship with the surrounding roof and walls. In general, windows shall enhance rather than dominate the overall architectural character.

- Except in interior side yard conditions, horizontal bathroom windows are prohibited;
- Divided lite or high-quality simulated divided lite windows are encouraged and should reflect the architectural style; and
- Non street-facing and rear yard windows may delete the divided lites.

Shutters

All shutters shall comply with the following:

- Mount shutters on finished wall material, embedded shutters prohibited;
- Match shutter size to the recessed opening window width; and
- Shutters not required on every window, they should be used purposefully.



Garages

Garage doors shall be considered an architectural detail similar to lighting and fixtures. Thus, the aesthetic of the garage doors are of high design importance and shall be compatible and enhance the home's architectural style. The following are recommendations to enhance the streetscene incorporating garage doors as a design feature:

- Provide different style door patterns;
- Vary the inclusion and design of window lites; and
- If style permits, consider colored garage doors for visual impact.



Lighting

Appropriate lighting is essential in creating an inviting evening atmosphere for the community. All lighting shall be non-obtrusive.

- Limit all exterior lighting to the minimum necessary for safety;
- Shield all exterior lighting to minimize glare and light spill onto adjacent properties;
- Use exterior entry lights that complement the architectural style; and
- Use low voltage lighting whenever possible in common areas.



Site Planning

Front yard setbacks shall be varied wherever possible, to provide visual interest to the street scene.

- Buildings setbacks should be arranged in a staggered and variable fashion to provide visual interest, allow views between adjacent buildings, and avoid repetitive appearance.
- Lots shall be planned and houses designed so that garages of houses do not dominate façades; garages shall make up no more than 50% of the frontage of the building. In the event that this proportion is not feasible, garages shall be recessed from façades by a minimum of ten feet to make house portions more visually prominent than garages.
- In order to minimize views into adjacent side or rear yards, primary second story view windows should be oriented toward either the front or rear of the home. Second story windows facing side yards should not line up directly with the windows of the adjacent home.

4.7 ARCHITECTURAL PRINCIPLES - ATTACHED

It is the intent for all architecture at Hitch Ranch to achieve a high level of quality in building function and visual appearance, assure variety and compatibility in architectural character and to enhance the community's overall value. The goal is to promote these qualities in conjunction with the landscape and planning by using various styles to provide a pleasant, livable community.

By the very nature of the building types, attached and multi-family home neighborhoods are much like small villages, or communities. Each should be designed for compatibility within itself, using a blend of compatible architectural styles and a tastefully balanced

palette of colors and materials. However, they must also share aesthetic that will enable cohesion with the rest of the community.

The following general concepts should be considered when planning for and designing multi-family housing.

- Design and site buildings with a strong physical relationship to common areas of the community.
- Emphasize pedestrian access and connections to public sidewalks, paseos, and open space systems.



Entries

Entries should create an initial impression, locate and frame the doorway, act as an interface between public and private spaces, and further identify individual unit entries.

- Wherever possible, site plans should orient the front door image and principal access toward the street or common area;
- Incorporate appropriate roof elements, columns, feature windows and/or architectural forms in the entry statement to emphasize the building character and the location of individual doorways; and
- If front entry location is not immediately obvious due to building configuration, direct and draw the observer to it with added elements such as signs, lighting and landscape.

Windows

Typically the location of windows is determined by the practical considerations of room layout, furniture placement, views, and privacy. Design emphasis here should be of particular concern as windows play an important role in the exterior architectural character of multi-family buildings.

- Within the appropriate style requirements, group and coordinate windows with other design elements to create a sense of composition and order;
- Where appropriate to style and window form, the use of multiple window panes is encouraged; and
- Use appropriate scale and proportion in window design to enhance the elevation style, using shutters, trim, or other element to help convey character.

Balconies

The inclusion of balconies is encouraged for both aesthetic and practical purposes. They are useful in breaking up large wall planes, offsetting floors, creating visual interest, and adding human scale to the building. They provide the practical advantage of creating outdoor living areas and elevated open space.

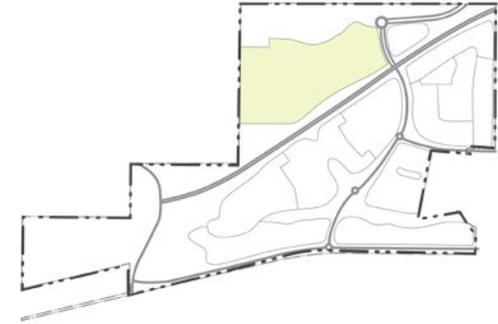
- Balconies may be covered or open. They may be either recessed into the mass of the building or serve as a projecting element. Balconies and patios must adhere to required setbacks;
- Design balconies as an integral elements of the building with details, eaves, supports, and railings in keeping with the architectural style and other elements of the building's design; and
- Avoid designing plans with repetitive balconies that occur side by side.

4.7.1 Residential Development

In order to provide a variety of housing types and densities, this Specific Plan contains planning areas with different levels of residential density, which include Medium-Low, Medium, and Very High.

Planning Area 1

Planning Area 1 is intended as a single-family residential community. Table 4-2 provides suggested architectural styles for Planning Area 1, however additional or different styles



may be proposed as long as they are consistent with the overall Hitch Ranch character and of quality. Development standards for Planning Area 1 are stated in Table 4-3.



Figure 4-16: Planning Area 1

TABLE 4-2 PLANNING AREA 1 STYLES

Lot Type	Style	Style	Style
80' x 93'	Contemporary	Progressive Farmhouse	Progressive Traditional

TABLE 4-3 PLANNING AREA 1: DEVELOPMENT STANDARDS

Element	Standard	Additional Requirements
Lot Area (min.)	7,200 S.F.	
Lot Width (min.)	80'	
Lot Depth (min.)	90'	
Building Setbacks (min).		
Front (to Porch)	10'	Front setbacks shall be varied to provide visual diversity.
Front (to Living Space)	15'	
Front (to Garage)	20'	
Side-In Garage (setback from front property line)	10'	
Side Yard	5' (both sides)	
Corner Lot Side Yard	5' (both sides)	
Rear Yard (to Living Space)	12'	
Rear Yard (to Covered Patio or 2nd-Story Deck)	10'	
Building Height (max.)	35' (not to exceed two stories)	
Walls and Fences	Per MMC or as required for sound attenuation	Property line fences shall be 5' behind sidewalk. Property Owner maintained landscape shall be planted between sidewalk and fence.
Parking	Per MMC - Chapter 17.32	

Planning Area 2

Planning Area 2 is intended as a single-family residential community. Table 4-4 provides suggested architectural styles for Planning Area 2, however additional or different styles

may be proposed as long as they are consistent with the overall Hitch Ranch character and of quality. Development standards for Planning Area 2 are stated in Table 4-5.

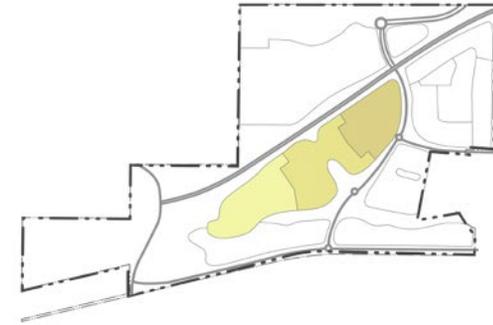


Figure 4-17: Planning Area 2

TABLE 4-4 PLANNING AREA 2 STYLES

Lot Type	Style	Style	Style
46' x 85'	Contemporary	Progressive Traditional	Progressive Hacienda
52' x 85'	Contemporary	Progressive Traditional	Progressive Farmhouse
58' x 85'	Progressive Hacienda	Progressive Traditional	Progressive Farmhouse

TABLE 4-5 PLANNING AREA 2: DEVELOPMENT STANDARDS

Element	Standard	Additional Requirements
Lot Area (min.)	3,900 S.F.	
Lot Width (min.)	46'	
Lot Depth (min.)	85'	
Building Setbacks (min.)		
Front (to Porch)	10'	Front setbacks shall be varied to provide visual diversity.
Front (to Living Space)	12'	
Front (to Garage)	20'	
Side-In Garage (setback from front property line)	10'	
Side Yard	5' (both sides)	
Corner Lot Side Yard	5' (both sides)	
Rear Yard (to Living Space)	11'	
Rear Yard (to Covered Patio or 2nd-Story Deck)	9'	
Building Height (max.)	35' (not to exceed two stories)	
Walls and Fences	Per MMC or as required for sound attenuation	Property line fences shall be 5' behind sidewalk. Property Owner maintained landscape shall be planted between sidewalk and fence.
Parking	Per MMC - Chapter 17.32	

Planning Area 3

Planning Area 3 has the most housing type diversity, providing a mix of detached and attached higher density homes. Table 4-6 provides suggested architectural styles

for Planning Area 3, however additional or different styles may be proposed as long as they are consistent with the overall Hitch Ranch character and of quality. Development standards for Planning Area 3 are stated in Table 4-7.

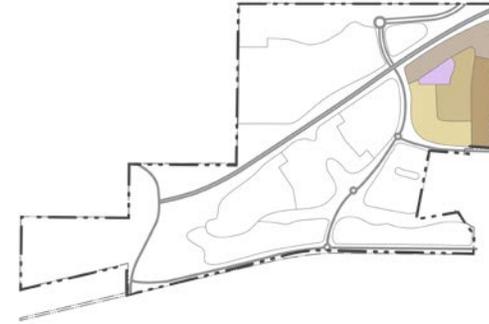


Figure 4-18: Planning Area 3

TABLE 4-6 PLANNING AREA 3 STYLES

Lot Type	Style	Style	Style
Cluster	Progressive Traditional	Progressive Farmhouse	Progressive Spanish
42' x 62'	Contemporary	Progressive Farmhouse	Agrarian
Alley	Mercantile	Progressive Farmhouse	Progressive Spanish

TABLE 4-7 PLANNING AREA 3: DEVELOPMENT STANDARDS (ATTACHED HOMES)

Element	Standard	Additional Requirements
Density	Per RPD Permit	
Building Setbacks (min.)		
Front (from Planning Area Boundary)	20'	
Side (from Planning Area Boundary)	10'	
Rear (from Planning Area Boundary)	Per RPD Permit	
Building Height (max.)	35' (not to exceed three stories)	
Walls and Fences	Per MMC or as required for sound attenuation	Property line fences shall be 5' behind sidewalk. Property Owner maintained landscape shall be planted between sidewalk and fence.
Parking	Per MMC - Chapter 17.32	

DEVELOPMENT STANDARDS (CLUSTER HOMES)

Element	Standard	Additional Requirements
Density	Cluster	
Lot Width	N/A	
Lot Depth	N/A	
Building Setbacks (min.)		
Front (to Living Space or Garage)	3'	
Side	5'	
Street Side	10' (to living space from back of sidewalk)	
Rear	5'	
Driveway (min.)	3'	Must be 18' (min.) depth to allow parking in driveway.
Building Height (max.)	35' (not to exceed three stories)	
Walls and Fences	Per MMC or as required for sound attenuation	Property line fences shall be 5' behind sidewalk. Property Owner maintained landscape shall be planted between sidewalk and fence.
Parking	Per MMC - Chapter 17.32	

TABLE 4-7 DEVELOPMENT STANDARDS (SMALL LOT)

Element	Standard	Additional Requirements
Lot Area (min.)	3,900 S.F.	
Lot Width (min.)	46'	
Lot Depth (min.)	85'	
Building Setbacks (min.)		
Front (to Porch)	10'	
Front (to Living Space)	12'	Front setbacks shall be varied to provide visual diversity.
Front (to Garage)	20'	
Side-In Garage (setback from front property line)	10'	
Side Yard	5' (both sides)	
Corner Lot Side Yard	5' (both sides)	
Rear Yard (to Living Space)	11'	
Rear Yard (to Covered Patio or 2nd-Story Deck)	9'	
Building Height (max.)	35' (not to exceed three stories)	
Walls and Fences	Per MMC or as required for sound attenuation	Property line fences shall be 5' behind sidewalk. Property Owner maintained landscape shall be planted between sidewalk and fence.
Parking	Per MMC - Chapter 17.32	

Planning Area 4

Planning Area 4 is intended to be constructed as a townhome/condominium or apartment home project. Area 4 shall comply with the RPD development standards in place within the Moorpark Zoning Ordinance at the time that development is proposed

unless otherwise stated in Table 4-9. Table 4-8 provides a suggested architectural style for Planning Area 4, however additional or different styles may be proposed as long as they are consistent with the overall Hitch Ranch character and of quality.

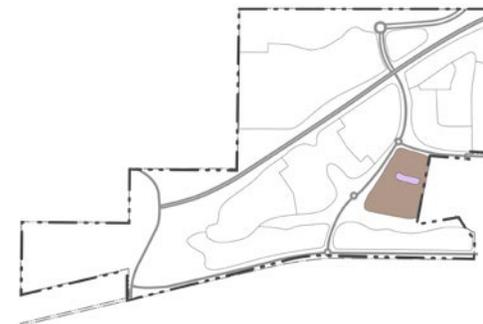


Figure 4-19: Planning Area 4

TABLE 4-8 PLANNING AREA 4 STYLES

Lot Type	Style
Attached	Progressive Spanish

TABLE 4-9 PLANNING AREA 4: DEVELOPMENT STANDARDS (ATTACHED HOMES)

Element	Standard	Additional Requirements
Density	Per RPD Permit	
Building Setbacks (min.)		
Front (from Planning Area Boundary)	20'	
Side (from Planning Area Boundary)	10'	
Rear (from Planning Area Boundary)	Per RPD Permit	
Building Height (max.)	35' (not to exceed three stories) utilizing City of Moorpark Municipal Code methodology for average height calculation.	
Walls and Fences	Per MMC or as required for sound attenuation	Property line fences shall be 5' behind sidewalk. Property Owner maintained landscape shall be planted between sidewalk and fence.
Parking	Per MMC - Chapter 17.32	

Open Space

- Private open space shall be provided and shall be directly accessible from each dwelling unit in the planning area.
- A usable private open space area in the form of a courtyard patio, deck, or combination thereof, with a usable minimum of 60 S.F. and a minimum for any single dimension of 5' for each dwelling unit shall be provided.

Recreational Amenities

- The following recreational amenities shall be provided: restrooms, swimming pool and spa, barbecue area with seating, and turf play area.
- Amenities shall be reviewed and approved with the required residential planned development permit.



Chapter 5

DEVELOPMENT REGULATIONS

INTRODUCTION

Chapter 5 is written in the format of Title 17 Zoning of the City of Moorpark Municipal Code as it is intended to be incorporated as Chapter 17.78 of that ordinance upon adoption. An ordinance of the City of Moorpark, California is enacted, adopting development standards for Specific Plan Area No. 1 consistent with Specific No. 2019-01 amending the zoning map of the City of Moorpark to reflect the land use designations contained within the Specific Plan; and amending Title 17, Zoning, of the Municipal Code of the City of Moorpark to place such regulations as Chapter 17.78 within said code as follows:



17.78.010 Purpose and Intent

The development standards or regulations contained herein have been established to supplement existing zoning criteria for the development of the planning areas within Specific Plan Area No. 1. Implementation of the regulations set forth in this chapter is intended to ensure that all development is coordinated and consistent with the goals and policies of the City's General Plan.

The following regulations provide for the arrangement, development and use of residential and open-space zoned areas within the Specific Plan area, while ensuring substantial compliance with the intent and provisions of the City's General Plan and ordinances. Application of these regulations is intended to encourage the most appropriate use of the

land, create a harmonious relationship among land uses and protect the health, safety and general welfare of the community.

17.78.020 Definitions

Words and terms used in Specific Plan Area No. 1 development standards or regulations shall have the same definitions as given in the City of Moorpark Municipal Code, including Title 17, Zoning.

17.78.030 General Provisions

These development standards or regulations regulate all development within Specific Plan Area No. 1. The following general provisions apply to all zone districts within the Specific Plan Area No. 1:

The City of Moorpark Municipal Code shall regulate development in Specific Plan Area No. 1, except as modified by the regulations contained herein. In such cases where the specific plan development regulations conflict with those in other Chapters of Title 17 of the City of Moorpark Municipal Code, Specific Plan Area No. 1 development standards shall apply. Any future amendments to the City of Moorpark Municipal Code, which are not addressed by Specific Plan Amendment No. 2019-01, shall also apply to the Specific Plan area, as applicable.

The establishment and changes of the zone district classification on land in the Specific Plan area shall be as described in this Chapter and shall be adopted by an ordinance amending the City zoning map. The zone districts for Specific Plan Area No. 1 shall be consistent with the Land Use Summary (Table 2-1) and Illustrative Land Use Plan (Figure 2-1) of Specific Plan Area No. 1.

All land use entitlements and permits issued within the Specific Plan Area No. 1 shall be consistent with the Specific Plan and the City's General Plan.

Since it is not feasible to compose legislative language which encompasses all conceivable land use situations, the Director of Community Development shall have the authority to interpret the standards or regulations contained in this Specific Plan, but only when such interpretation is necessitated by a lack of specificity in such regulations or standards.

Procedures for the processing of land use entitlement for Specific Plan Area No. 1, including permits and variances, shall be the same as defined in Chapter 17.44 of Title 17 of the City of Moorpark Municipal Code.

17.78.040 Open Space

Permitted uses with Open Space areas are limited to revegetation, restoration and enhancement, management, grading and utilities necessary to serve the Specific Plan area, hiking trails and public facilities. Fuel modification and brush clearance is permitted in appropriate zones.



Chapter 6

IMPLEMENTATION

6.1 GENERAL

All applications for Specific Plan development implementation, including but not limited to all Tentative Tract Maps of any type, Planned Development Permits, Conditional Use permits and Variances will be processed consistent with the state Subdivision Map Act and the City of Moorpark Subdivision Ordinance and Municipal Code, including Title 17.

The City of Moorpark Municipal Code shall regulate development in Specific Plan Area No. 1, except as modified by the Specific Plan text, conditions, regulations and standards contained herein. In such cases where Specific Plan Area No. 1 text, conditions, regulations and standards



conflict with those in sections contained in the City of Moorpark Municipal Code, the Specific Plan Area No. 1 development text, conditions, regulations and standards shall apply.

All land use entitlements and permits issued within the Specific Plan Area No. 1 shall be consistent with both the City's General Plan, as amended as of the date of the Specific Plan adoption, and Specific Plan Area No. 1.

In addition to adoption of this Specific Plan by the City of Moorpark, the City will enter into a Development Agreement authorized pursuant to Section 65865 et seq. of the California Government Code.

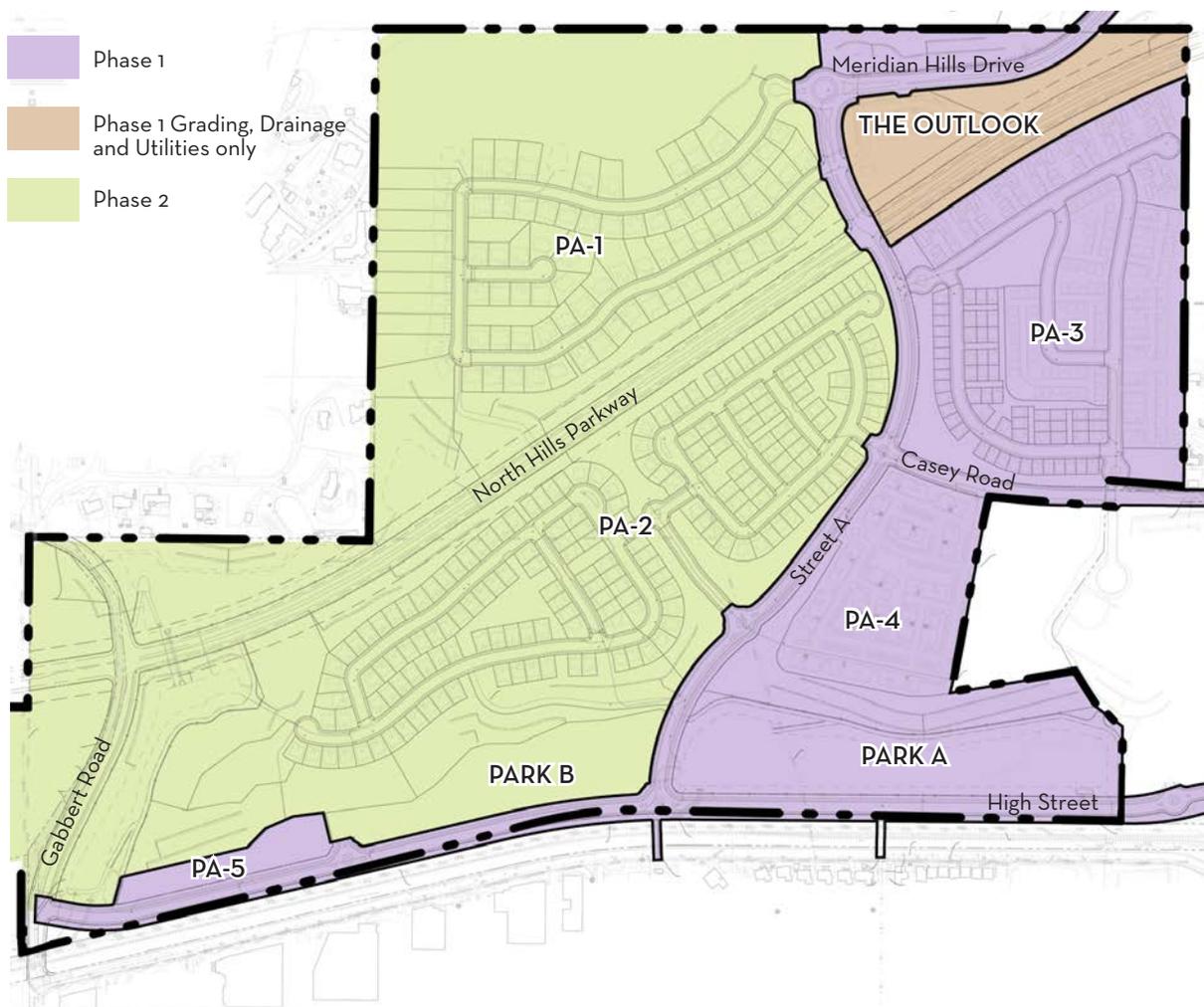
6.2 PHASING

The primary intent of the Specific Plan Area No. 1 Phasing Plan is to correlate appropriate infrastructure improvements to site development. To allow for a flexibility in the phasing plan, the Planning Areas of Specific Plan Area No. 1 are planned so that they may efficiently be developed either all

simultaneously or incrementally. There are two phases proposed for the Specific Plan Area. Figure 6-1 illustrates the proposed Phasing Plan. Phase 1 includes Planning Area 3 (PA3) and Planning Area 4 (PA4) plus the new High Street Park "A" and detention basin infrastructure along High Street and Gabbert Road. Primary roadways within Phase 1 are the extension of High Street from the Post Office/Civic Center to Gabbert Road, "A" Street from High Street to Meridian Hills Drive, and Casey Road to "A" Street. Phase 2 includes Planning Area 1 (PA1) and Planning Area 2 (PA2) plus the Outlook HOA recreation center and High Street Park "B". The remaining regional circulation roadway construction in Phase 2 is North Hills Parkway as a two-lane divided roadway from Gabbert Road to the eastern boundary of the Specific Plan area. Each phase of the development allows for there to be sub-areas within the Planning Areas which may be developed concurrently to allow for maximum efficiency of infrastructure implementation and to meet market demand.

Each Specific Plan Phase, Planning Area, and sub-area may be developed so long as infrastructure, including roads, trail networks, secondary access, water, sewer and drainage systems are in place as development occurs. The sequence and rate of development for Specific Plan Area No. 1 will be influenced by the following factors: (i) the economy; (ii) the rate of growth of the City and region; and (iii) changes in regional infrastructure/public facilities, conditions and needs. As these factors change during the course of the build-out process, necessary adjustments in the corresponding infrastructure requirements will be instituted.

The basic phasing mechanism of Specific Plan Area No. 1 is the subdivision map. As each Final Tract Map is processed, specific infrastructure requirements for that subdivision will be established.



6.3 PUBLIC AND PRIVATE FACILITIES AND SERVICES

The Project Applicant will be responsible for financing, by conventional means or through a Community Facilities District (CFD) or other financing mechanism, and constructing the Specific Plan facilities and services to support the planned development. As a condition of each Final Tract Map, the Project Applicant will be required to supply the City with acceptable assurances that the facilities and services required for that development phase will be completed.

Figure 6-1: Phasing Plan

6.4 SPECIFIC PLAN ADMINISTRATION

The Specific Plan includes development and design standards and guidelines but cannot foresee every potential condition requiring decisions within the Planned Development permit process. In accordance with California Government Code Sections 65453 through 65454, a Specific Plan shall be amended in the same manner as a General Plan, except that a Specific Plan may be amended as often as deemed necessary by the City Council. Any subsequent discretionary approval or amendment to the Specific Plan must be consistent with the General Plan as amended and/or updated, except where the Developer/Applicant possess vested rights under the terms of a Development Agreement entered into between the Developer/Applicant and the City.

Future development applications will be processed that are in substantial conformance with the Specific Plan or that may require an amendment to the Specific Plan. This section shall govern these applications and

classifies them into four categories: Minor Modifications, Major Modifications, Specific Plan Amendments and Special Use Permits.

6.4.1 Minor Modifications

The following items may deviate, within specified limitations, from the adopted Specific Plan but shall be considered to be in Substantial Conformance with the Specific Plan. This review shall occur at staff level, through the Administrative Review Process if so determined by the Director of Community Development. The Director, however, shall have the discretion to refer any such request for modification to the Planning Commission as a Major Modification. Conversely, the applicant shall have the right to appeal decisions of the Director to the Planning Commission and/or City Council.

- Final facility sizing and alignment of water, sewer, and storm drain improvements (as directed by the City Engineer).
- Change in utility and/or infrastructure servicing agency.

- Alignment of local streets within neighborhoods so long as the number and approximate spacing of connections is in general conformance with the Land Use Plan.
- Local Street, road and multi-use trail alignments provided that connecting of destination points is maintained.
- Minor landscape and streetscape design modifications consistent with the Design Guidelines contained in this document and approved through the Administrative Review Process.
- Deletion of utility infrastructure deemed unnecessary by the City Engineer.

6.4.2 Major Modifications

Amendments may be requested at any time pursuant to Section 65453(a) of the Government Code. Proposed amendments deemed to be Major Modifications by the Director of Community Development as defined herein will be processed by the Community Development Department through the Administrative Review Process and approved by the Planning Commission. If the Director so determines, the changes identified below may be processed as a Specific Plan Amendment as described below.

- Location or reconfiguration of major streets.
- Specific modifications of a similar nature to those listed above which are deemed by the Director to be in keeping with the spirit and intent of the Specific Plan, and are in conformance with the 2020 General Plan.

6.4.3 Specific Plan Amendments

Amendments may be requested at any time pursuant to Section 65453(a) of the Government Code. Any proposed modification to the Specific Plan deemed major by the Director, will be processed as an amendment to the Specific Plan. Depending upon the nature of the proposed amendment to the Specific Plan, additional environmental analysis may be required, pursuant to Section 15162 of CEQA.

6.4.4 Conditional Use Permits

Any project requiring a Conditional Use Permit shall be processed in accordance with the Moorpark City Code. Special Use Permit requests shall be approved by the decision-making authority if the following findings are made. These findings are in addition to any findings by California State Law and Moorpark City Code:

- The proposed conditional use is consistent with the Specific Plan;

- The use is consistent with the intent and provisions of the City's General Plan and Specific Plan;
- The use is compatible with the character of surrounding development;
- The use would not be detrimental to the public interest, health, safety, convenience, or welfare;
- The use is compatible with existing and planned land uses in the general area where the development is to be located; and

The use is compatible with the scale, visual character and design of the surrounding properties, designed so as to enhance the physical and visual quality of the community, and the structure(s) have design features, which provide visual relief and separation between land uses and conflicting character.

6.5 SUBSTANTIAL CONFORMANCE AND TENTATIVE MAP AMENDMENTS

The Community Development Director or, as appropriate, the Director of Public Works (“the Director”) is responsible for making substantial conformance determinations as provided in this section.

The purpose of substantial conformance is to determine whether proposed development of uses substantially comply with the standards, regulations and guidelines of the Specific Plan and other applicable City ordinances, which do not conflict with the Specific Plan. The use of substantial conformance includes, but is not limited to:

- Determinations regarding issues, conditions of situations that arise and are not directly addressed by this Specific Plan.

- Determinations of whether a use substantially complies with the land use designation in which the use is requested and, therefore, is permitted within that land use designation;
- Approval of signs and sign programs;
- Approval of parking programs;
- Administrative additions, deletions and changes to the Specific Plan exhibits or text that substantially comply with the Specific Plan;
- Adjustments to the Specific Plan’s conceptual plans, which do not change the requirements of providing adequate infrastructure or facilities;
- Amendments to tentative subdivision maps;
- Approval of transport of materials within the boundaries of the Specific Plan in conjunction with permitted grading operations.

6.5.1 General Findings Applicable to all Substantial Conformance Requests

The Director, acting upon any request for determinations of substantial conformance as provided in this section, shall either approve, approve with conditions, or deny the request based on findings that the request: (i) Substantially conforms with all applicable provisions of the Specific Plan and City ordinances, which do not conflict with the Specific Plan; (ii) Will not adversely affect public health and safety; and (iii) Will not adversely affect adjacent property.

6.5.2 Amendments to Tentative Map

Following approval of a Tentative Map, the Director may approve amendments to the map if the amended map is determined by the Director to be in substantial conformance with the approved map. Changes which are permitted through an amended map include: (i) Changes that can be requested by letter and that would not require any changes to the map; (ii) Adjustments, which are not substantial to mapped features, such as lot lines, street alignments, driveway locations and building setbacks; (iii) Grading changes that will not substantially affect approved drainage patterns; (iv) Additions or consolidation of lots where the change does not substantially alter approved grading plan(s) and/or concurrently increase industrial building square footage; and (v) Changes required to be made as a condition of final map approval imposed by the City Engineer.

6.5.3 Hearing and Appeals

Substantial conformance determinations and Tentative Map amendment decisions are subject to the hearings and appeals process pursuant to Chapter 17.44 of the City of Moorpark's Municipal Code.

6.5.4 Appeal Procedure

All determinations of substantial conformance by the Community Development Director shall be final unless appealed pursuant to Chapter 17.44 of the City of Moorpark's Municipal Code.

