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Moorpark Highlands Specific Plan No. 2

City of Moorpark

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Final

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City of Moorpark
Community Development

ATTACHMENT A

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**MOORPARK HIGHLANDS SPECIFIC PLAN NO. 2
MOORPARK, CALIFORNIA**

**FINAL
SPECIFIC PLAN**

PREPARED FOR:

**CITY OF MOORPARK
799 MOORPARK AVENUE
MOORPARK, CALIFORNIA 93021**

PREPARED BY:

**EDAW, INC.
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June 1999

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1.0 SUMMARY

The purpose of this document is to comply with Government Code Section 65451 which defines a Specific Plan to include “all detailed regulations, conditions, programs, and proposed legislation that may be necessary or convenient for the systematic implementation” of each of the seven requirements of the General Plan. Specific Plan No. 2 has been prepared to meet these requirements of the City of Moorpark General Plan, and provide a cohesive and comprehensive working document which describes guidelines and standards for implementation of the development.

Specific Plan No. 2 is divided into **twelve (12)** sequential sections. **Section One** presents a brief overview of the specific plan. **Section Two** is intended to establish the purpose, scope, location and setting of the specific plan. **Section Three** provides goals and objectives, while **Section Four** provides an extensive description of the development Land Use Plan. **Sections Five, Six, and Seven** presents discussions of transportation, infrastructure and community facilities as they relate to the land use plan.

Section Eight establishes design guidelines for the entire Specific Plan No. 2 and for individual project planning areas. **Section Nine** presents a detailed description of the development regulations and design and development standards which are necessary to guide and control new development and carry out the goals and policies of the Specific Plan and the City’s General Plan. **Section Ten** provides implementation and administration procedures, while **Section Eleven** describes the General Plan consistency of the document. Finally, Appendices have been provided and contain the property legal description, Specific Plan No. 2 requirements from the Moorpark General Plan, and Definitions.

The Specific Plan No. 2 document has been organized in a manner so as to clearly distinguish between policy statements, guidelines, and zoning regulations. The sections containing policy statements and guidelines would be adopted by resolution. As depicted in the Adoption Matrix on the following page, sections 1.0 through 8.0, 10.0, and 11.0 would be adopted by resolution. The Specific Plan No. 2 zoning regulations and design standards would be adopted by ordinance. The following page indicates that section 9.0 would be adopted by ordinance. The Adoption Matrix also shows how Specific Plan No. 2 zoning regulations would become a new chapter within Title 17, Zoning, of the Moorpark Municipal Code.

This document has been prepared to assist the City of Moorpark in the implementation of a comprehensive master plan, consistent with all regulatory standards in accordance with the Moorpark General Plan. Specific Plan No. 2 provides a detailed description of proposed land uses and infrastructure requirements. Design guidelines have been prepared to assist in creating an architectural theme and community character symbiotic to the surrounding community. Development regulations provide criteria for each individual planning area within Specific Plan No. 2.

ADOPTION MATRIX
Specific Plan Section Adopted by Resolution

Specific Plan Section	Adopted by
1.0 SUMMARY	Resolution
2.0 INTRODUCTION	Resolution
3.0 GOALS AND OBJECTIVES	Resolution
4.0 DEVELOPMENT PLAN	Resolution
5.0 TRANSPORTATION/CIRCULATION PLAN	Resolution
6.0 INFRASTRUCTURE PLAN	Resolution
7.0 COMMUNITY FACILITIES PLAN	Resolution
8.0 DESIGN GUIDELINES	Resolution
10.0 IMPLEMENTATION AND ADMINISTRATION	Resolution
11.0 GENERAL PLAN CONSISTENCY	Resolution

Specific Plan Sections Adopted by Ordinance

Specific Plan Section	New Ordinance Number
9.0 DEVELOPMENT REGULATIONS AND STANDARDS	17.___
9.1 Purpose and Intent	17.___.010
9.1.1 Definitions	
9.1.2 General Provisions	
9.1.3 Entitlement Process and Procedures	17.___.010C
9.2 Residential Planned Development Regulations	17.___.020
9.2.1 Residential Permitted Uses	17.___.020.A
9.2.2 Single-Family Residential Site Development Standards	17.___.020.B
9.2.3 Multi-Family Residential Site Development Standards (Affordable Housing)	17.___.020.C
9.3 Open Space Development Regulations	17.___.030
9.3.1 Private Open Space (POS) Zone Permitted Uses	17.___.030.A
9.3.2 Private Open Space (POS) Zone Development Regulations	17.___.030.B
9.3.3 Natural Open Space (NOS) Zone Development Regulations	17.___.030.C
9.4 Public Institutional (I) Zone Development Regulations	17.___.040
9.4.1 Public/Institutional Permitted Uses	17.___.040.A
9.4.2 Public/Institutional Site Development Standards	17.___.040.B
9.5 Right-of-Way (R/W) Zone Development Regulations	17.___.050
9.6 Setbacks for Plugged, Abandoned Oil Wells	17.___.060

2.0 INTRODUCTION

2.1 Purpose

The purpose of the Specific Plan is to meet the requirements of the City of Moorpark General Plan for the Specific Plan No 2 Property. The Plan is intended to serve the following purposes:

- Promote quality development consistent with the goals of the City of Moorpark General Plan.
- Develop a plan that is economically feasible and capable of being implemented based on existing and anticipated future economic conditions such that no economic burden to the City would occur.
- Provide for comprehensive planning which assures the orderly development of the site in relation to the surrounding community.
- Assure appropriate phasing and financing for community facilities including circulation improvements, domestic water, urban runoff and flood control facilities, sewage disposal facilities, educational facilities and parks.
- Preserve and enhance natural open space areas and provide on-site amenities where appropriate.
- Establish development regulations permitting a variety of residential products and affordable housing opportunities compatible with the surrounding area.

2.2 Scope of the Specific Plan

A Specific Plan is a legal document that provides the City of Moorpark and the landowner with a course of development based on the concepts and standards outlined in the Plan. The Specific Plan establishes a pattern and density of land use that is embodied in Section 4.0 of this document. The Specific Plan process is intended to serve as an alternative planning process that encourages more creative and imaginative planning of large-scale, mixed-use developments within the framework of a cohesive and comprehensive regulatory plan. The Specific Plan process provides greater design flexibility than conventional zoning and land use regulations to encourage a more environmentally sensitive, economic, and efficient use of the land.

The Specific Plan document for Specific Plan No. 2 has been written consistent with the framework established by the State of California Government Code as specified in Article 8, Section 65450 et. seq. The following is a brief analysis of the Specific Plan legal requirements and Specific Plan No. 2 project consistency with the respective criteria.

According to Section 65451 of the California Government Code, the content of a Specific Plan shall include the following narrative and graphic descriptions. The text provided in italics is the actual Government Code requirements. The text below each requirement states where the requirement is met within the Specific Plan document.

2.2.1 Specific Plan Legal Requirements

A Specific Plan shall include a text and a diagram or diagrams which specify all of the following in detail:

- *The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.*

Section 4.0 of this Specific Plan includes the location of various land uses including residential, open space/recreation, circulation, and public/institutional.

- *The proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.*

Section 5.0 of this Specific Plan addresses these issues by providing a circulation plan which delineates the arterial and collector streets within Specific Plan No. 2, as well as the necessary off-site connections. Sections 6.0 and 7.0 of the Specific Plan outline the essential infrastructure and services for the community.

- *Standards and criteria by which development would proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.*

Section 4.0 of the Specific Plan includes the Land Use Plan which addresses the provisions for the identification and conservation of natural resources of the site. Section 8.0 Design Guidelines and Section 9.0 Development Regulations address the development of regulations that define the criteria by which development would proceed.

- *A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out the preceding paragraphs.*

The Specific Plan includes Implementation Measures, (Sections 5.0, 6.0, 7.0 and 10.0), which address phasing, financing, permits, maps, plans, and agreements that would guide the future development.

2.2.2 Relationship of the Specific Plan to the General Plan

The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan.

This document has been written to meet the City of Moorpark's General Plan - Land Use Element requirements for the development of a Specific Plan for this area, consistent with Specific Plan No. 2 land use designation.

Section 11.0 of this Specific Plan addresses consistency with the City of Moorpark General Plan.

2.3 CEQA Compliance

A "Project" Environmental Impact Report (EIR) defined by Section 15161 of the State California Environmental Quality Act (CEQA) Guidelines has been prepared and addresses the potential impacts of the development allowed by the Specific Plan. The EIR has been prepared in compliance with the CEQA Guidelines. In accordance with Section 15182(a) of the State CEQA Guidelines, "where a public agency has prepared an EIR on a specific plan after January 1, 1980, no EIR or negative declaration need be prepared for a residential project undertaken pursuant to and in conformity to that specific plan if the project meets the requirements of [that] section."

A public agency can issue, although not required, a Notice of Exemption for future residential development requests located within the Specific Plan project area. In accordance with Section 15062(a) of the State CEQA Guidelines, "when a public agency decides that a project is exempt from CEQA and the public agency approves or determines to carry out the project, the agency may file a Notice of Exemption. The notice shall be filed, if at all, after approval of the project. Such notice shall include:

- A. A brief description of the project;
- B. A finding that the project is exempt, including a citation to the State Guidelines section under which it is found to be exempt; and
- C. A brief statement of reasons to support the finding.

2.4 Project Location and Setting

Specific Plan No. 2 is located in the northern section of the City of Moorpark, east of Walnut Canyon Road and west of Happy Camp Canyon Regional Park, north of Charles Street and south of Broadway Road.

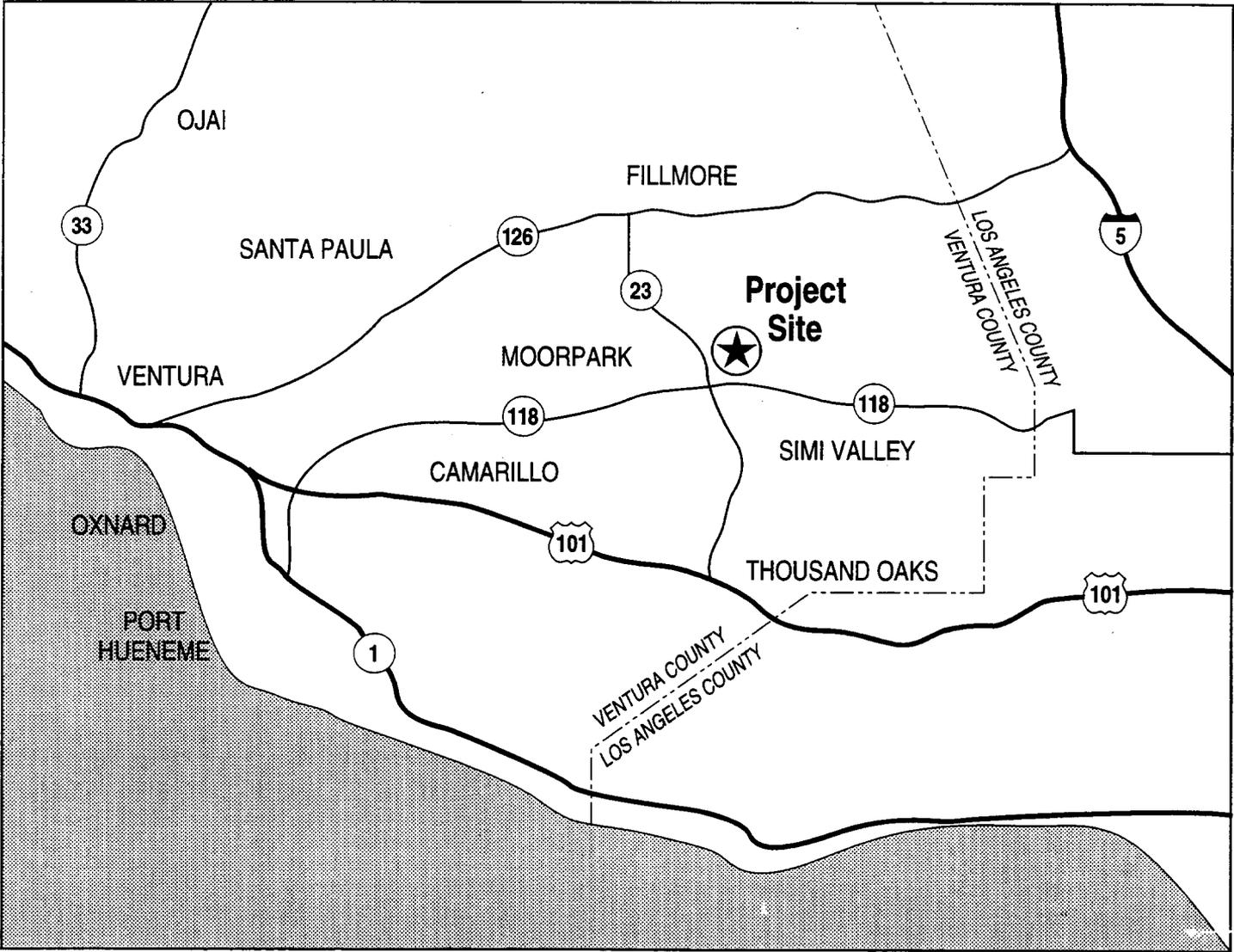
The location of Specific Plan No. 2 in relation to the local and regional setting is displayed in Exhibits 1 and 2, regional and local vicinity maps. Exhibit 3 provides an aerial perspective of the site.

2.4.1 Existing Conditions

The following includes a brief summary of the site's current conditions. A detailed opportunity and constraints analysis was performed prior to the development of the proposed Land Use Plan (included in Section 4.0). This analysis included several studies on biological resources, archaeological/paleontological resources, geotechnical constraints, hydrological and drainage conditions, tree surveys, slope analysis, circulation layout alternatives and viewshed surveys. The results of these studies are discussed in detail in the EIR for this Specific Plan. The studies themselves are included in the Technical Appendices of the EIR.

- A. **Natural Terrain** - The majority of this Specific Plan area is characterized as a gently sloping plateau separated by several unnamed arroyos which carry drainage from the north to the south.
- B. **Views** - The predominant views on the site are to the existing developments to the south, distant hillsides to the north and Happy Camp Canyon Regional Park to the east.

MOORPARK SPECIFIC PLAN NO. 2
City of Moorpark, California



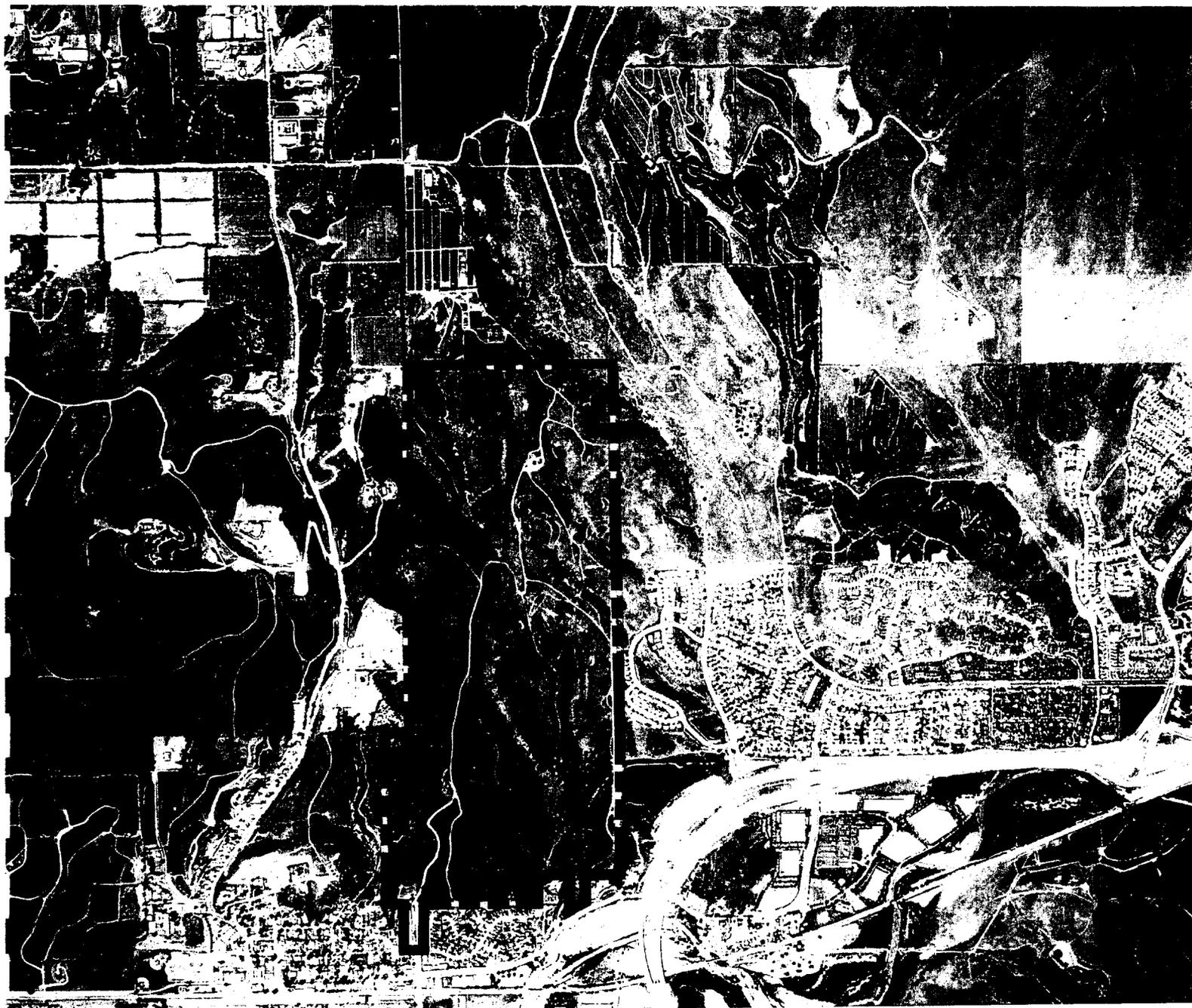
Not to Scale





DRAFT

MOORPARK SPECIFIC PLAN NO. 2
City of Moorpark, California



Not to Scale

EDAW

Source: Inland Aerial Service

5/99

Exhibit 3

Aerial Photograph



- C. **Existing Uses** - The Specific Plan area is primarily undeveloped and vacant, and is currently not being used.
- D. **Current Ownership/Applicant** - The site is owned by Fountainwood-Agoura. The Specific Plan applicant is Morrison-Fountainwood-Agoura.
- E. **Existing Surrounding Land Uses** - Agricultural uses occur north of the site. The Happy Camp Canyon Regional Park occupies the area to the east and northeast of the site. The remainder of the surrounding land uses (to the west, south and southeast) are residential neighborhoods.

3.0 GOALS AND OBJECTIVES

Specific Plan No. 2 is a planned community which would provide a variety of residential, recreation, and open space areas. Specific Plan No. 2 would implement a general architectural theme on a neighborhood-wide basis. This approach would help create a sense of place and identity for residents and visitors, and would be accomplished through: 1) innovative community design which enhances existing natural resources; 2) site planning consistent with orderly development; and 3) governmental review and input.

3.1 General Goals and Policies

The primary objective of Specific Plan No. 2 is to implement the goals and policies of the current General Plan of the City of Moorpark.

The following goals and policies have been established to guide the development of the site into a planned development that is harmonious with the natural environment and the surrounding community. It also conforms with the City's goals, policies, and standards for Land Use, Circulation, Open Space, Conservation and Recreation, Housing, Safety and Noise Elements. Section 11.0 of this document compares Specific Plan No. 2 to the City of Moorpark General Plan for consistency between the two plans.

3.1.1 Land Use

- A. Goal: Develop a community that is visually attractive and effectively organized.**

Policies:

1. Develop Specific Plan No. 2 as a master planned community.
2. Create a community which draws character from the existing environment and site conditions while establishing its own identity.
3. Cluster development on the site to provide areas where the natural and rural landscape is conserved.
4. Locate development to take advantage of both long and short range view corridors.
5. Enhance view corridors into natural open space areas by strategically placing development to preserve open space corridors into the natural open space areas.
6. Maintain drainage corridors as open space to enhance the open space atmosphere.
7. Minimize negative visual impacts by introducing a variety of landscape elements (i.e., hardscape materials, trees, shrubs, and plants) through the implementation of the Landscape Plan.

- B. Goal: Provide a planned community which complements existing development within the City of Moorpark.**

Policies:

1. Provide a range of housing types within Specific Plan No. 2.
2. Develop community facilities (i.e., public park, and school) as a part of Specific Plan No. 2 which can be utilized and enjoyed by the entire City.

- C. Goal: Cluster development to minimize the potential impact on adjacent properties and environmental resources.**

Policies:

1. Separate Specific Plan No. 2 development from adjacent residential developments through the provision of open space buffers.
2. Provide land uses that would be compatible with surrounding on and off-site land use designations through appropriate land use transitions.
3. Preserve significant natural features of the site.

- D. Goal: Develop a land use pattern which meets the needs of future residents for essential services, living areas, educational facilities, and areas for pursuit of leisure time activities.**

Policies:

1. Create a series of neighborhoods within Specific Plan No. 2 that will have their own unique community features, landscape theme, and open space buffers.
2. Create a community open space system that would tie the neighborhoods together, connect community features, and promote pedestrian and bicycle circulation.
3. Provide viable pedestrian access opportunities to recreation, and educational facilities from on-site and off-site locations.

- E. Goal: Maintain high quality development standards to ensure lasting value for the residential neighborhoods and activity centers.**

Policies:

1. Adopt development guidelines and regulations on a project-wide basis to provide a consistent and compatible approach to land development and construction.
2. Establish community design criteria to promote a thematic approach to the development of a master planned community.
3. Create open space and landscaped areas along the arterial streetscapes.

- F. **Goal: Provide more open space than is typically available in nearby developments through designing in concert with the land.**

Policies:

1. Adapt housing types and site layouts to the landform configuration.
2. Cluster development to preserve open space.

3.1.2 Housing

- A. **Goal: Provide a range of housing types to meet the varied housing needs within the community.**

Policies:

1. Adopt development standards that encourage a variety of housing types.
2. Maintain high quality standards for residential land development to create neighborhoods with lasting value.
3. Develop neighborhoods with easy access to essential community services.
4. Provide housing units affordable to very low, lower, moderate, and high income households. Refer to Appendix C for definitions.

3.1.3 Circulation

- A. **Goal: Organize land uses within the planned community to provide convenient and safe vehicular and pedestrian circulation.**

Policies:

1. Provide a safe and efficient system for people movement to and from the site, as well as within the site itself.
2. Increase the mobility of residents through development of an adequate and balanced transportation system that includes vehicular as well as non-vehicular transportation modes, such as pedestrian and bicycle.
3. Distribute residential traffic between Specific Plan No. 2's main entries.
4. Enhance the visual aspects of Specific Plan No. 2's circulation system for scenic purposes.
5. Develop on-site circulation corridors in a phased manner which avoids negative impacts to existing area roadways.
6. Create an integrated circulation system, which serves residential needs, provides access to community features and facilities, and discourages non-local traffic intrusion into residential neighborhoods.

7. Create a community open space system that connects community features and encourages pedestrian and bicycle circulation in order to reduce vehicular traffic.
8. Provide pedestrian and equestrian trail connections consistent with City of Moorpark, County of Ventura, and regional trails and pathways plans.

3.1.4 Conservation/Open Space

- A. Goal: Encourage the enhancement of slope areas and open space within the Specific Plan area.**

Policies:

1. Conserve and enhance areas with unique environmental and aesthetic value.
2. Retain natural vegetation as feasible, and revegetate graded areas immediately to stabilize soils and minimize erosion.
3. Soften developed edges through the use of contour grading techniques, and selective use of screening vegetation.

3.1.5 Public Services and Facilities

- A. Goal: Provide public services and facilities, including water, sewer, storm drainage, and utilities with the capacities to serve the level of development proposed. Provide fire and police protection facilities adequate to create safe neighborhood environments.**

Policies:

1. Economize on the costs of municipal facilities and services and the extension of these services by phasing residential development in a manner consistent with availability of essential services.
2. Provide services that would be compatible with the nature of growth within the City of Moorpark.
3. Locate park and recreational facilities to maximize opportunities for joint use with the neighborhood school.
4. Meet all fire protection requirements of the Ventura County Fire Protection District, including all requirements for construction within High Fire Hazards areas.
5. Develop emergency vehicle access to both fuel modification areas and adjacent open areas.
6. Minimize the economic burden on City and County agencies.
7. Design residential developments to incorporate defensible space concepts.

4.0 DEVELOPMENT PLAN

4.1 Land Use Plan

4.1.1 Land Use Summary

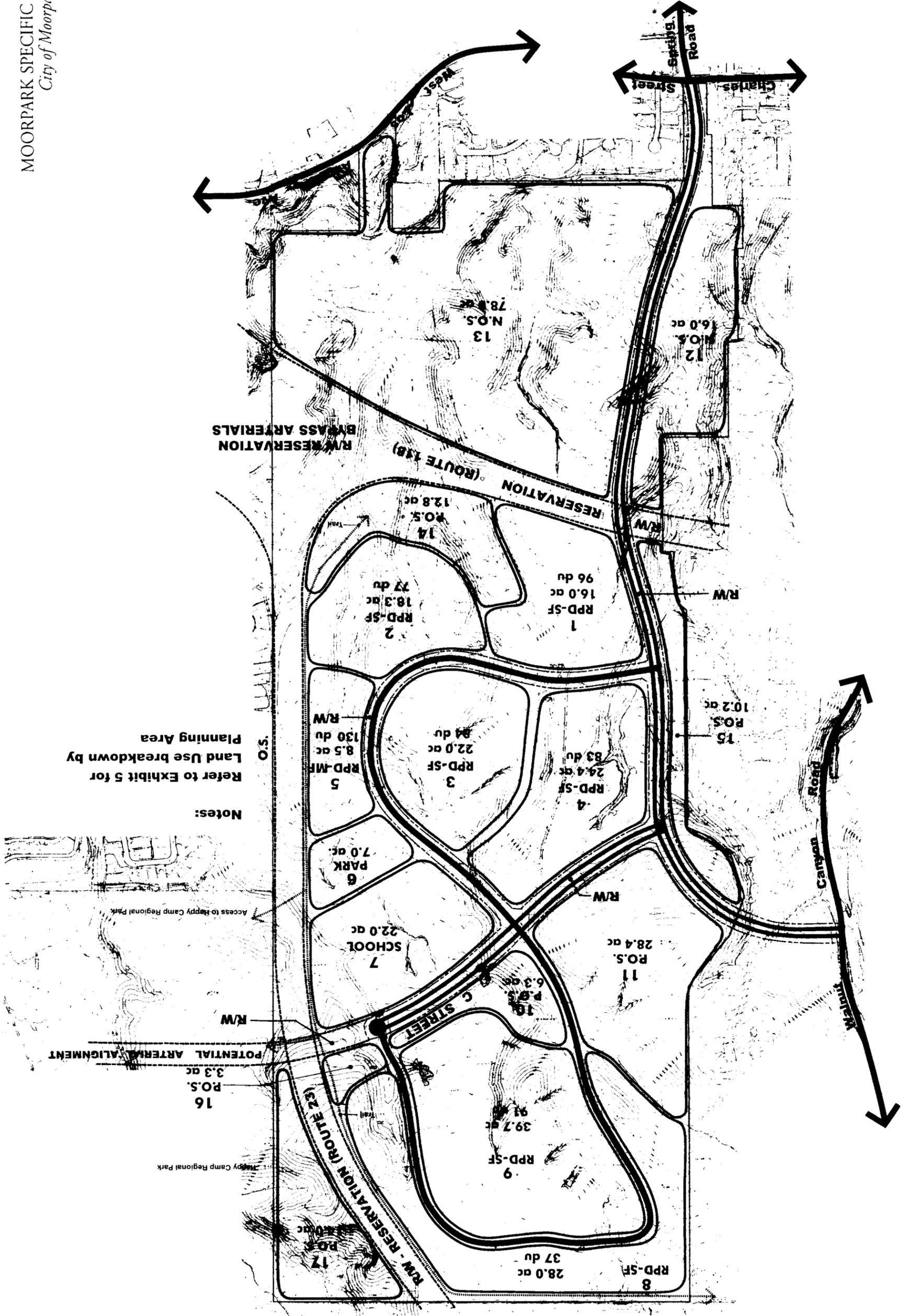
The Specific Plan No. 2 Land Use Plan (Exhibit 4) has been developed to create a quality community which would endure long into the future. The Plan incorporates land uses which relate to modern needs, while retaining assets of the existing environment. The Land Use Plan (which includes 17 Planning Areas) has been designed to work with the natural landscape, establishing a sense of harmony with Specific Plan No. 2 surroundings. The Plan would create a cohesive transition from the existing urban development to the south and the rural development to the north.

Specific Plan No. 2 has been designed with an overall density of 1.34 dwelling units per acre. Please refer to the Land Use Summary (Exhibit 5), which identifies the proposed land uses by acreage and percent of total area. The Specific Plan density is consistent with the surrounding rural character. The low density would be created by clustering land uses within the flatter portions of the site, thereby creating substantial amounts of open space which include a combination of sloping and flat areas and arroyos. Also, by introducing a variety of housing types and densities along with clustering, significant amounts of natural open space would be preserved.

The following guiding principles have shaped the Land Use Plan:

- Respect for the significant landforms and mature native trees.
- Preservation of future Bypass Arterial right-of-ways.
- Preservation of the scenic foothill backdrop and southern viewshed.
- Respect for sensitive biological habitat.
- Creation of a cohesive open space system.
- Maintenance of large areas of natural open space in an undeveloped condition.
- Provision of park/recreational and public/institutional (i.e., School) uses
- Location of most visible development approximately 1,000 feet below the major ridge line, providing a visual boundary to development and preserve the scenic skyline backdrop.
- Avoidance of the development of habitable structures within geotechnically constrained areas.

These principles result in a plan where development occurs primarily within the central portion and gently sloping areas of Specific Plan No. 2, and the more rugged topography, significant landforms and sensitive biological areas are preserved as natural open space.



Notes:
Refer to Exhibit 5 for
Land Use Breakdown by
Planning Area



SCALE 1" = 600'

EDAW

Source: Ramseyer and Associates, Inc.

STATISTICAL SUMMARY

Total Developable Area							445.0 AC
Residential							
Planning Area	Land Use Designation	Density/Range du/ac	Max. Gross Density	DU's	% of Total	Area	% of Total Area
1	RPD - SF	2.5 - 6.0	6.0 DU/AC	96	16.1	16.0 AC	03.6%
2	RPD - SF	2.5 - 6.0	4.2 DU/AC	77	12.9	18.3 AC	04.1%
3	RPD - SF	2.5 - 6.0	3.8 DU/AC	84	14.0	22.0 AC	04.9%
4	RPD - SF	2.5 - 6.0	3.4 DU/AC	83	13.9	24.4 AC	05.5%
5	RPD - MF	8.0-15.5	15.3 DU/AC	130	21.7	8.5 AC	01.9%
8	RPD - SF	1.3-2.5	1.3 DU/AC	37	6.2	28.0 AC	06.3%
9	RPD - SF	1.3-2.5	2.3 DU/AC	91	15.2	39.7 AC	08.9%
Subtotal				598	100%	156.9 AC	35.3%

Open Space				
Planning Area	Land Use Designation		Area	% of Total Area
10	POS	Private Open Space	6.3 AC	1.4%
11	POS	Private Open Space	28.4 AC	6.4%
12	NOS	Natural Open Space	16.0 AC	3.6%
13	NOS	Natural Open Space	78.0 AC	17.5%
14	POS	Private Open Space	12.8 AC	2.9%
15	POS	Private Open Space	10.2 AC	2.3%
16	POS	Private Open Space	3.3 AC	0.7%
17	POS	Private Open Space	14.0 AC	3.1%
Total Open Space			169.0 AC	37.9%

Non-Residential Uses				
Planning Area	Land Use Designation		Area	% of Total Area
6	P	Park	7.0 AC	1.6%
7	S	School	22.0 AC	4.9%
	R/W	Right of Way Reservation 118 & 23	49.7 AC	11.2%
	R/W	Roadways	40.4 AC	9.1%
Subtotal			119.1 AC	26.8%
Total Project			445.0 AC	100%

Additionally, the Land Use Element of the City's General Plan identifies requirements and limitations for Specific Plan No. 2 (see Appendix B). Under the Proposed Land Uses section of the Land Use Element, the number of dwelling units to be developed in Specific Plan No. 2 is restricted to a "maximum" density of 475 dwelling units and a "density limit" of 712 dwelling units. Because the land use plan is proposed to include a total number of dwelling units that exceed the 475 dwelling unit maximum, the City Council would need to ultimately determine whether the proposed plan has provided public improvements, public services, and/or financial contributions that are of substantial public benefit to the community in order for the number of dwelling units to exceed 475.

The Land Use Plan provides the following public benefits:

- Provision of 11 percent of the total number of dwelling units to be designated as affordable housing (see Section 4.1.2 of this document);
- Provision of 169 acres of open space which is 58 acres beyond City 25 percent requirement;
- 49.7 acres of dedicated right-of-way for future Bypass Arterials consistent with the City's Circulation Element;
- Habitat enhancement within the 94.0 acres of natural open space areas;
- Provision of 22.0 acre school site;
- Provision of multi-use trails;
- Provision of 7.0 acre neighborhood park; and
- Extension of Spring Road to Walnut Canyon Road to enhance City-wide circulation.

Specific Plan No. 2 would have its own unique identity established through the use of complimentary architecture, landscape design, natural open space, and the presence of a school and a park site. The planned network of open space corridors and a clearly defined streetscape program would provide linkages between residential neighborhoods, parks, school, natural open space areas and off-site amenities.

4.1.2 Residential Land Uses

A. Housing

The residential land use designations are divided into two categories:

1. RPD-SF - Single Family detached homes are designated in Planning Areas 1 through 4, and 8 and 9. Please refer to Exhibits 4 and 5.
2. RPD-MF - Multi-Family units (i.e., townhomes, condominiums, and apartments) are designated in Planning Area 5. Please refer to Exhibits 4 and 5.

The housing program for Specific Plan No. 2 would provide a broad diversity of residential product types and pricing, ranging from affordable, very low, low-income multi-family rental and moderate income for sale single family units to large lot, and for sale single-family detached homes. This program is intended to respond to a broad segment of the residential market demand in the Moorpark area, while also assisting the City meet its regional affordable housing obligations.

3. Affordable Housing

The Specific Plan No. 2 Land Use Plan designates 468 single-family dwelling units and 130 for-rent multi-family dwelling units for a total of 598 dwelling units. The Land Use Plan designates 66 of the total 598 dwelling units as “affordable”. Affordable housing is defined as meeting the needs of the “very low”, “low”, and moderate income categories within the City of Moorpark (refer to Appendix C for definitions). Of the 66 units of affordable housing provided by Specific Plan No. 2, 50 units will be “for rent” units located within the 130 unit for rent multi-family Planning Area 5. Twenty-five (25) of these units will have rents affordable to families earning income of no more than 60% of the Ventura County median income, and 25 of these units will have rents affordable to families earning income of no more than 80% of the Ventura County median income. The remaining 16 affordable units shall be “for sale” single-family detached courtyard homes with sales prices affordable to families earning no more than 110% of the Ventura County median income. Development of the affordable units will be done in such a manner which mixes the affordable housing units with the market rate units. The affordable units shall be offered for rent and for sale in cooperation with any City of Moorpark Affordable Housing Marketing Plans which the City may offer. These units would be for rent or and for sale to “low”, “very low”, and “moderate” income families for a minimum of 30 years from the date the affordable unit receives a final building inspection. Four floor plans would be offered as follows:

Plan	# of Units	Sq. Ft.	Bedrooms	Bathrooms	Maximum Household Size
<i>Multi-Family “For Rent” Units - Very Low Income</i>					
1	13	880	2	1.5	4
2	12	1,050	3	2	6
<i>Low Income Units</i>					
3	13	1,050	3	2	6
4	12	1,200	4	2.5	8
<i>Single-Family “For Sale” Courtyard Homes - Moderate Income Units</i>					
A	8	1,450	3	2	6
B	8	1,620	4	2.5	8

B. Population

It is estimated that Specific Plan No. 2 housing program would result in a total resident population of 1,639 to 1,872 persons. The population estimate of 1,639 is based on population factors contained in the Moorpark General Plan Update of 2.74 persons per household for the year 2010. The population estimate of 1,872 is based on the more recent Ventura County Association of Government's adopted population factor of 3.13 persons per dwelling unit for the year 2010.

4.1.3 Open Space Land Uses

Specific Plan No. 2 Open Space Plan is guided by the key design principle: conserve and enhance areas with unique environmental and aesthetic value. To accomplish this, natural features of the site have been maintained, in an undeveloped condition, as feasible. The open space configurations also assure the preservation of the most dramatic topography, sensitive biological areas, and areas with dense vegetation.

Open space is seen as a significant element in the lifestyle for future residents. To support this, an extensive natural and private open space system is planned. This system would be composed of 94.0 acres designated for natural open space and 75.0 acres designated for private open space. The natural open space areas would be part of an overall Habitat Conservation Plan (HCP). The Environmental Impact Report provides a detailed discussion of the HCP and implementation mechanisms.

A. Private Open Space

The 75.0 acres private open space would consist of graded and undisturbed open space, owned and maintained by a master homeowners association. The private open space areas would be made accessible via a multi-use trail system, following existing roads or pathways where feasible. These areas could contain some drainage improvements, in addition to the trails.

Where a residential neighborhood adjoins private open space, and a potential wildfire hazard exists, fuel modification improvements would be incorporated along the development interface in accordance with the requirements specified in this document and subject to the requirements of the Ventura County Fire Protection District. These areas would be owned and maintained by a Master Homeowners Association. Treatments of these areas would include the reduction of hazardous fuel volume, planting of approved low-fuel volume ground covers/shrubs, limited irrigation of areas adjacent to permitted structures, and other techniques as approved by the Ventura County Fire Protection District, with ultimate enforcement by the local fire inspector. Fuel modification areas are shown conceptually within the Planning Areas, outside of the limits of grading on Exhibit 19. Within the fuel modification areas, brush clearance would be permitted; however, mass grading would not be permitted. Fuel modification zones would be a minimum of 100 feet in width. Fuel modification is further discussed in Section 8.3.4, and a cross-section of the conceptual Fuel Modification Zone is shown on Exhibit 21.

B. Natural Open Space

The 94.0 acre natural open space preserve areas would be reserved for visual open space and designated as a habitat conservation area. These areas would remain ungraded, with the exception of roadways and infrastructure improvements necessary for the construction of Spring Road. No more than 6 percent or 6.6 acres of the total natural open space area would be impacted by identified infrastructure improvements necessary for the construction of Spring Road. These impacted areas would be re-contoured and re-vegetated to the standards as defined in the Design Guidelines, Section 8. The Project Applicant would dedicate/transfer the land and/or grant a conservation easement in perpetuity over the 94- acre mitigation area referred to within the HCP as (Management Area 1) to the City of Moorpark or some other governmental or conservation entity, approved by the City of Moorpark.

4.1.4 Park Land Use

The 7.0-acre park site planned for Specific Plan No. 2 would allow a variety of recreational opportunities to meet the needs of future residents. The park site is proposed as a public park to be owned and maintained by the City of Moorpark. The park site is located adjacent to the proposed intermediate school to allow for joint use of facilities. The size and the configuration of the park site allows for a variety of potential active play facilities such as multi-activity play fields and dual-use courts.

4.1.5 School Land Use

The Land Use Plan includes a School land use designation for a 22.0-acre site, based on the recommendation of the Moorpark Unified School District that an intermediate school site be included within Specific Plan No. 2. The Land Use Element requires the Specific Plan No. 2 land use plan to include a minimum of 7 acres of land designated as Public Institutional. As defined in the Land Use Element of the General Plan, a Public Institutional land use designation identifies public facilities, including government buildings, libraries, fire stations, non-profit organization buildings, and community service centers, but excludes jail facilities. The 22.0-acre school site is proposed to fulfill the Public Institutional land use requirement for Specific Plan No. 2.

4.1.6 Right-of-Way

A. Arterial/Collector

The Specific Plan designates 40.4 acres of the site for arterial and collector roadways. Arterial roadways with a right-of-way of 104 feet would include a 14-foot median, four travel lanes, bike and emergency lanes and landscape parkways on each side, buffering sidewalks and/or equestrian trail. Please refer to Section 5.1.1 for a detailed discussion and graphic sections of the arterial right-of-ways. The Spring Road arterial through the HCP area would have a reduced right-of-way of 94 feet and would include a 10-foot median, four travel lanes, one Class I bike lane (east side of road) one Class II bike and emergency parking lanes. The Class I bike lane would occur within a 10-foot easement along the east side of the roadway. A 5-foot sidewalk would be provided on the west side of the roadway. Collector roadways would include two travel lanes, two parking lanes, sidewalks, and a landscape/parkway setback on each side. The paved improvements within the designated right-of-ways may be adjusted at the discretion of the Public Works Department and Community Development Department.

B. Bypass Arterial Reservation

The Bypass Arterial Reservation consists of 49.7 acres designated for the potential future development of SR 118 and SR 23, which would allow for a 200-foot-wide corridor on both routes with 138-154 feet for lanes, medians, and shoulders, and the balance for slope. The 200-foot-wide corridor design meets or exceeds the values in the Caltrans Highway Design Manual, Figure 307.4, for a six-lane freeway. Final layout and design would ultimately be determined by Caltrans. Ultimate ownership of the Bypass Arterial Reservation would be determined by the City.

4.2 Grading Plan

Specific Plan No. 2 is characterized as a gently sloping plateau bisected by north to south trending drainage features. The existing topography of the site ranges between 0 and 30+ percent as illustrated in Exhibit 6. Steeper slopes are found in the southern portion of the site and in the arroyos. A slope map was prepared and an assessment performed during the opportunity and constraints analysis on Specific Plan No. 2. The results of this analysis conclude that approximately 200 of the site's 445 acres contain slope areas exceeding a 20 percent gradient.

The Conceptual Grading Plan is shown as Exhibit 7, and delineates the existing and proposed contours. The Conceptual Grading Plan takes into consideration the recommendations of the geotechnical reports for this site including those for soil expansion, slope stability and seismic activity. The proposed grading would be balanced on-site.

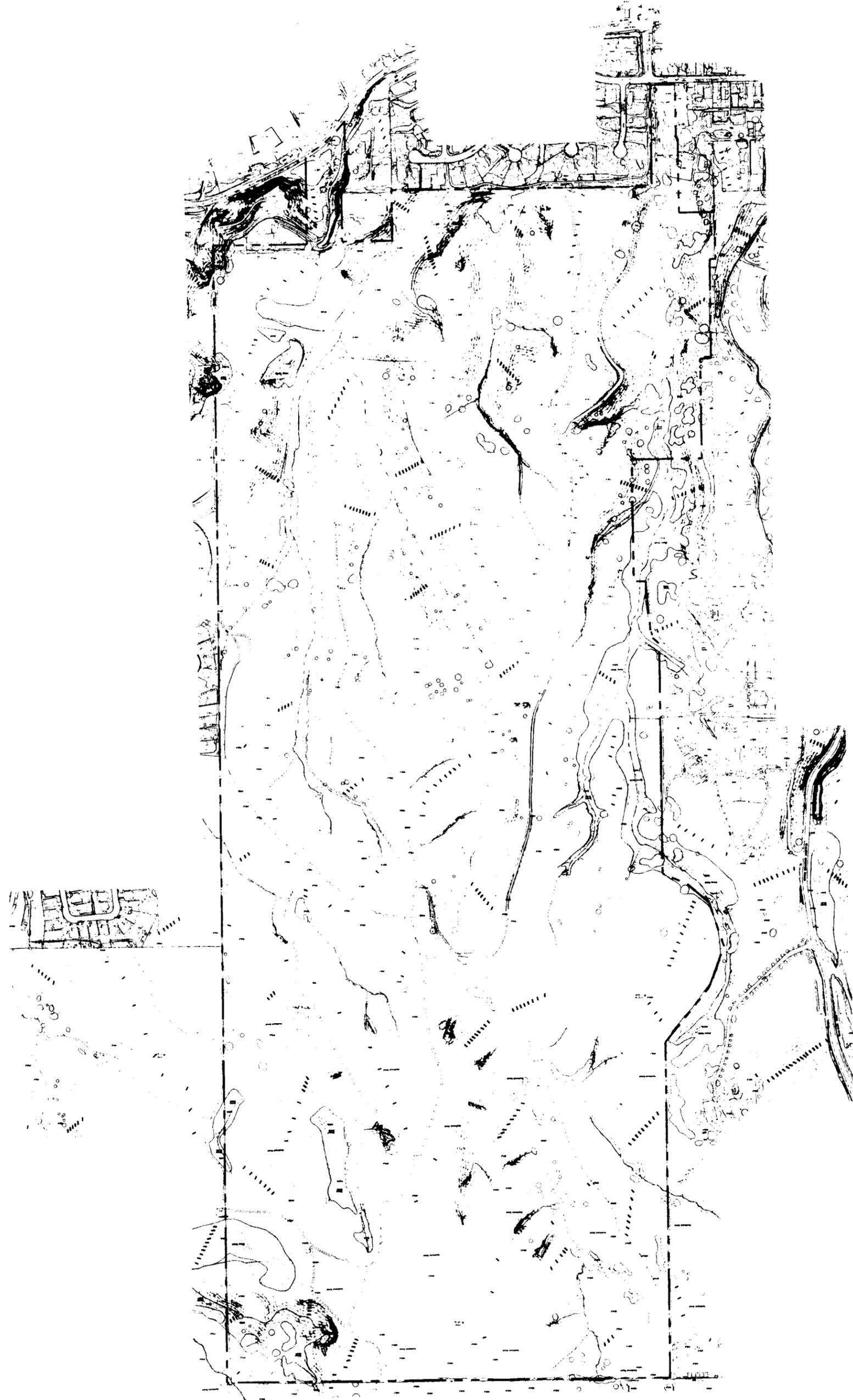
The design of this plan proposes to utilize grading techniques that: 1) stress the preservation of significant topographic features, 2) selectively place development, 3) encourage variations in slope gradients and transitional slopes and implement the sculpture-like shaping of manufactured slopes in a manner that replicates the slopes and characteristics of natural landforms. Additionally, the proposed grading plan incorporates the following design elements:

- Variation to slope gradients, utilizing compound slopes and state of the art grading techniques (an example of this technique would be slope transitions varying from 4:1 to 2:1 punctuated by slopes of varying steepness);
- Variation to pad sizes and shapes that correspond to variable topography;
- The artful utilization of contour and daylight grading to achieve a subtle transition between natural landforms and manufactured slopes;
- Use of drainage and landscape elements such as clustering of trees and shrubs typical of concentration found in nature, incorporation of rock elements, and the use of coloring which blends with the surrounding area to reduce visibility of culverts and downdrains.

Grading and landform alterations within Specific Plan No. 2 are intended to minimize the amount of landform alteration. Hillside development would enhance the most visually significant slope banks and ridge lines where feasible and retain their natural appearance. Manufactured slopes would be recontoured to reflect the natural topographic character, retaining the visual integrity of the site under developed conditions. The Conceptual Grading Plan is designed to minimize grading in the 20 percent or greater slope areas, and to achieve consistency where feasible with the City's Hillside Management Ordinance.

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MOORPARK SPECIFIC PLAN NO. 2
City of Moorpark, California



SCALE 1" = 600'

EDAW

Source: Ramseyer and Associates, Inc.

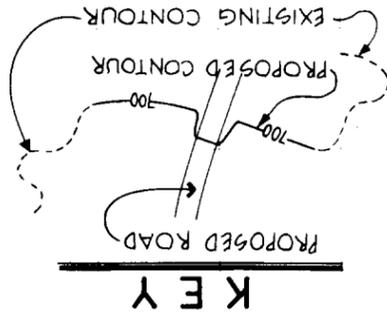
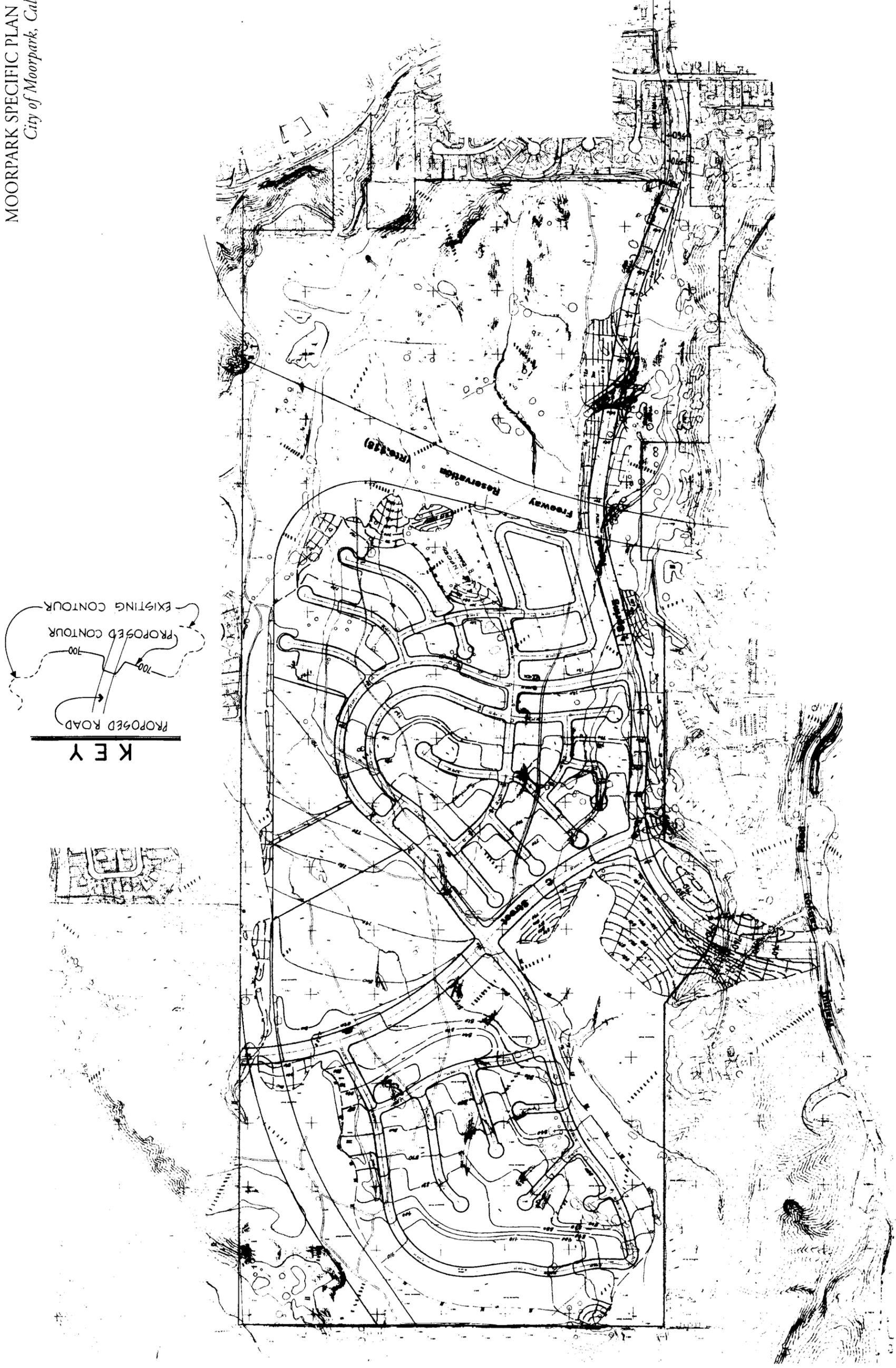
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Exhibit 6

Existing Topography

DRAFT

MOORPARK SPECIFIC PLAN NO. 2
City of Moorpark, California



SCALE 1" = 600'

EDAW

Source: Ramseyer and Associates, Inc.

5/99

Exhibit 7

**Proposed Conceptual
Grading Plan**

Exhibit 8 depicts a slope impact analysis revealing the areas exceeding 20 percent slope and illustrates a proposal for grading which respects where feasible, the guidelines of the City's Hillside Management Ordinance. As stated previously, approximately 200 acres of the site exceed 20 percent slope. Of these 200 acres, approximately 105.8 acres would be graded (see Exhibit 8). Specific Plan No. 2 would require grading of 62.4 acres to allow for the development of residential uses. All external slopes within the Specific Plan exceed 2:1, except along the proposed major north/south arterial. In an effort to minimize grading impacts to the private open space areas along this arterial, 2:1 slopes have been utilized. Additionally, the overall Specific Plan No. 2 design utilizes "contour" or "landform" grading techniques which eliminate abrupt contrasts between native and modified landforms. This type of grading provides gradual transitions to native slopes and creates undulating topography.

The transitions between the private open space and proposed development pads are further delineated in the site sections (Exhibits 9A and 9B). The locations of sections A-A through D-D within the site are shown in Exhibit 9. Sections A-A and C-C reveal that the site layout retains and utilizes natural contours of the site to the maximum extent feasible. The existing elevations of these sections (A-A and C-C) have been minimally altered to create the residential development pads. The residential pads are broken up by private open space areas. The street and circulation design also respect the natural contours to the extent feasible and the percentage of land devoted to streets has been minimized. Section B-B depicts the existing and proposed grades of Spring Road, the school site and north/south collector as it intersects with "C" Street. Section D-D depicts a north-south section through the site, cutting through "C" Street, the school and park site, SR-118 reservation and the HCP area.

In summary, Specific Plan No. 2 grading plan would utilize contour grading techniques. The shaping and grading of the terrain would be tailored to maximize the general character of the site by providing a variety of slope gradients, along with buildable areas suitable for streets, homes, neighborhood park and public/institutional site. Innovative design solutions would be encouraged in slope areas through architectural and site design concepts, building site location, grading and construction techniques. Grading guidelines are incorporated into Section 8.0 Design Guidelines of this document.

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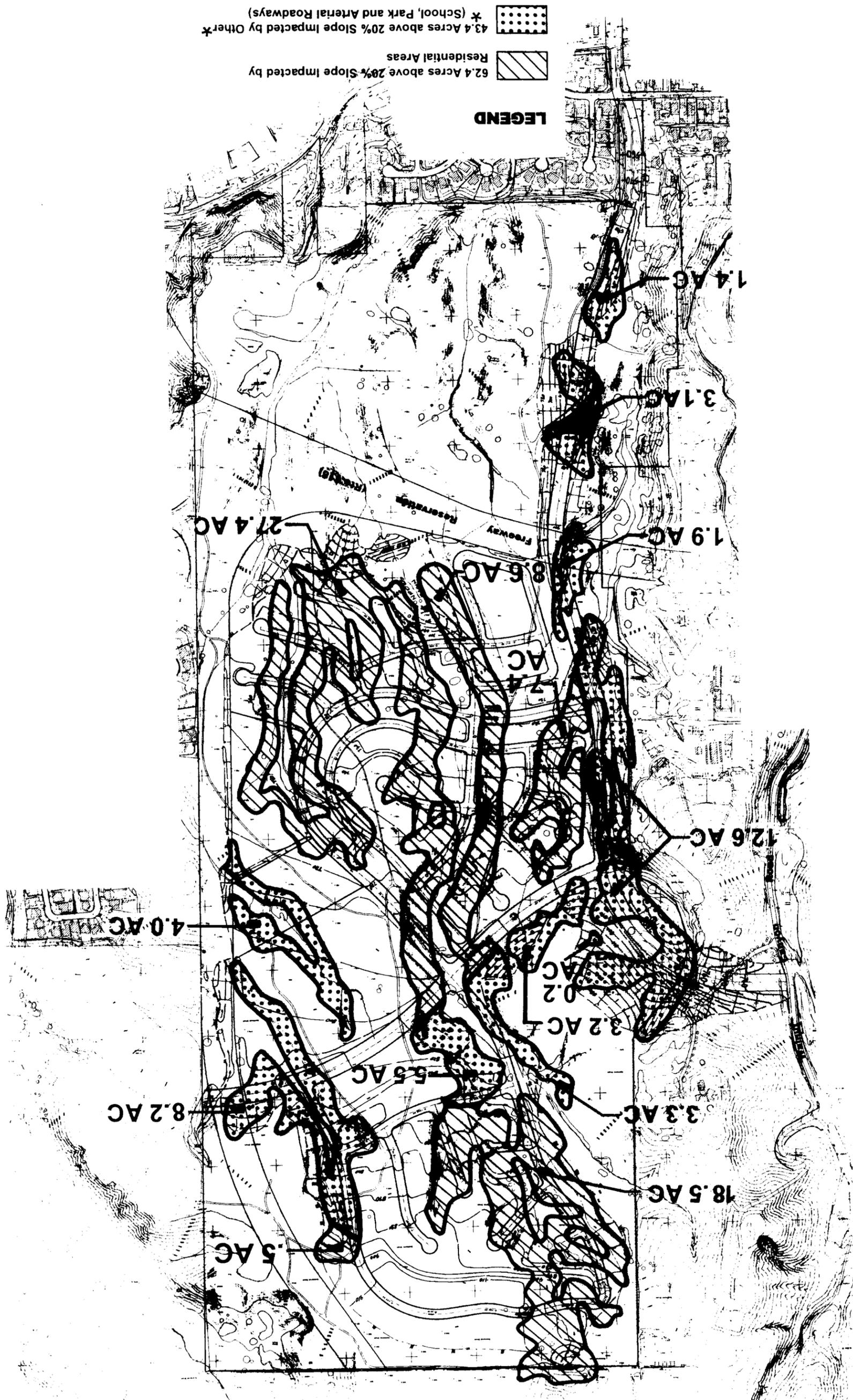
MOORPARK SPECIFIC PLAN NO. 2
City of Moorpark, California

TOTAL AREA IMPACTS ABOVE 20% SLOPE 105.8 AC.

* 43.4 Acres above 20% Slope Impacted by Other*
(School, Park and Arterial Roadways)

62.4 Acres above 20% Slope Impacted by Residential Areas

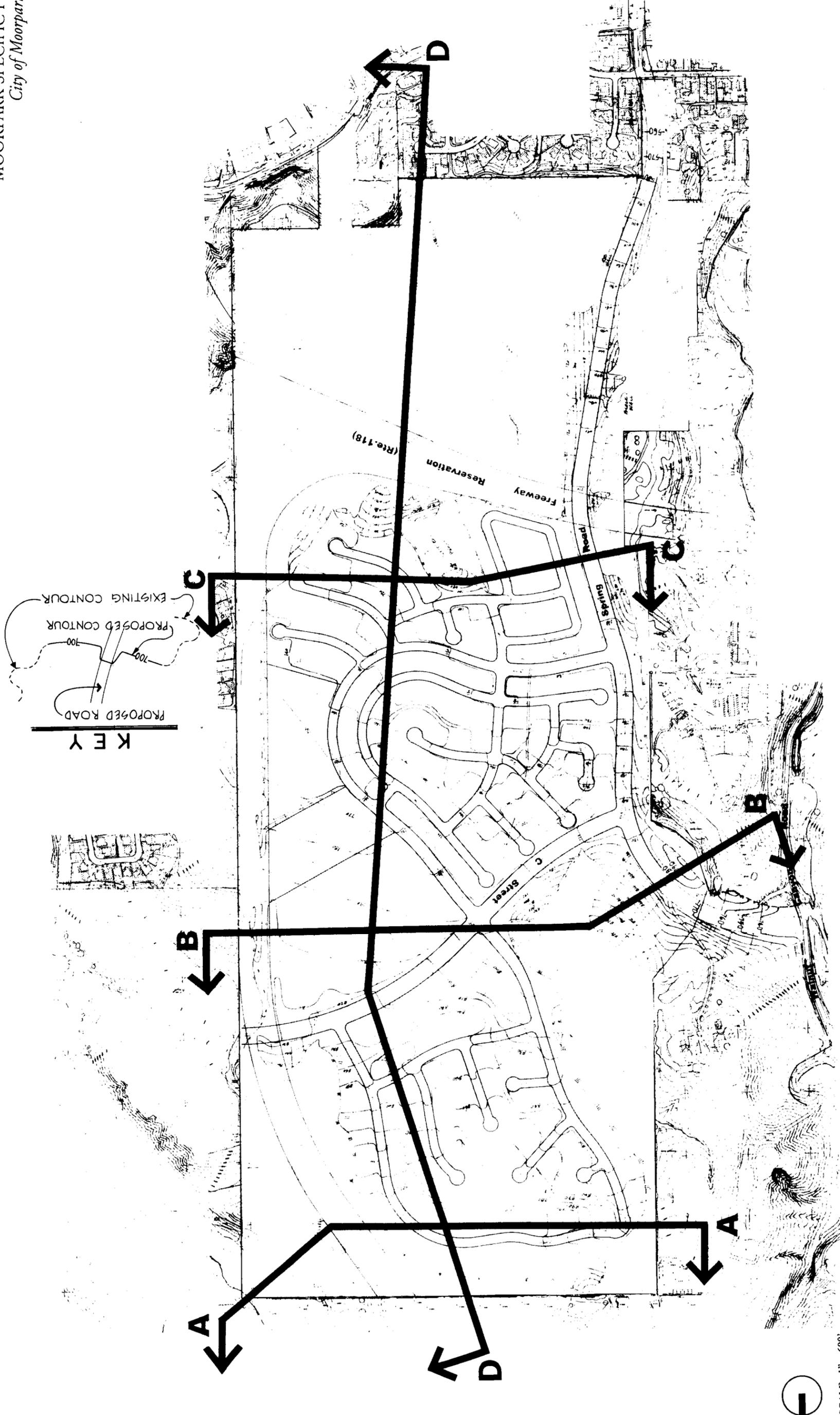
LEGEND



SCALE 1" = 600'

DRAFT

MOORPARK SPECIFIC PLAN NO. 2
City of Moorpark, California



SCALE 1" = 600'

EDAW

Source: Ramseyer and Associates, Inc.

5/99

Exhibit 9

Site Sections Key Map
(Existing/Proposed Grades)

5.0 TRANSPORTATION/CIRCULATION PLAN

The Vehicular Circulation and Alternative Circulation subsections, within this Transportation/Circulation section, describe how the circulation systems for Specific Plan No. 2 would be provided. The responsibility for construction, the funding mechanism (for both construction and on-going maintenance), the administrating agency ultimately responsible for governing each circulation system, and the phasing of the construction/installation are defined. A detailed discussion of Specific Plan No. 2 impacts on the transportation and circulation system and measures to mitigate the impacts are provided in the EIR. Mitigation measures are also included in the Mitigation Monitoring Program bound separately.

5.1 Vehicular Circulation

5.1.1 Future Bypass/Community Arterials

A. Description

1. On-Site Improvements

The 200-foot-wide corridors for the future extensions of SR 118 and SR 23 have been reserved allowing for lanes, medians, and shoulders, and the balance for slope. Alternative alignments for future extensions of SR 118 and SR 23 are analyzed in the EIR for Specific Plan No. 2.

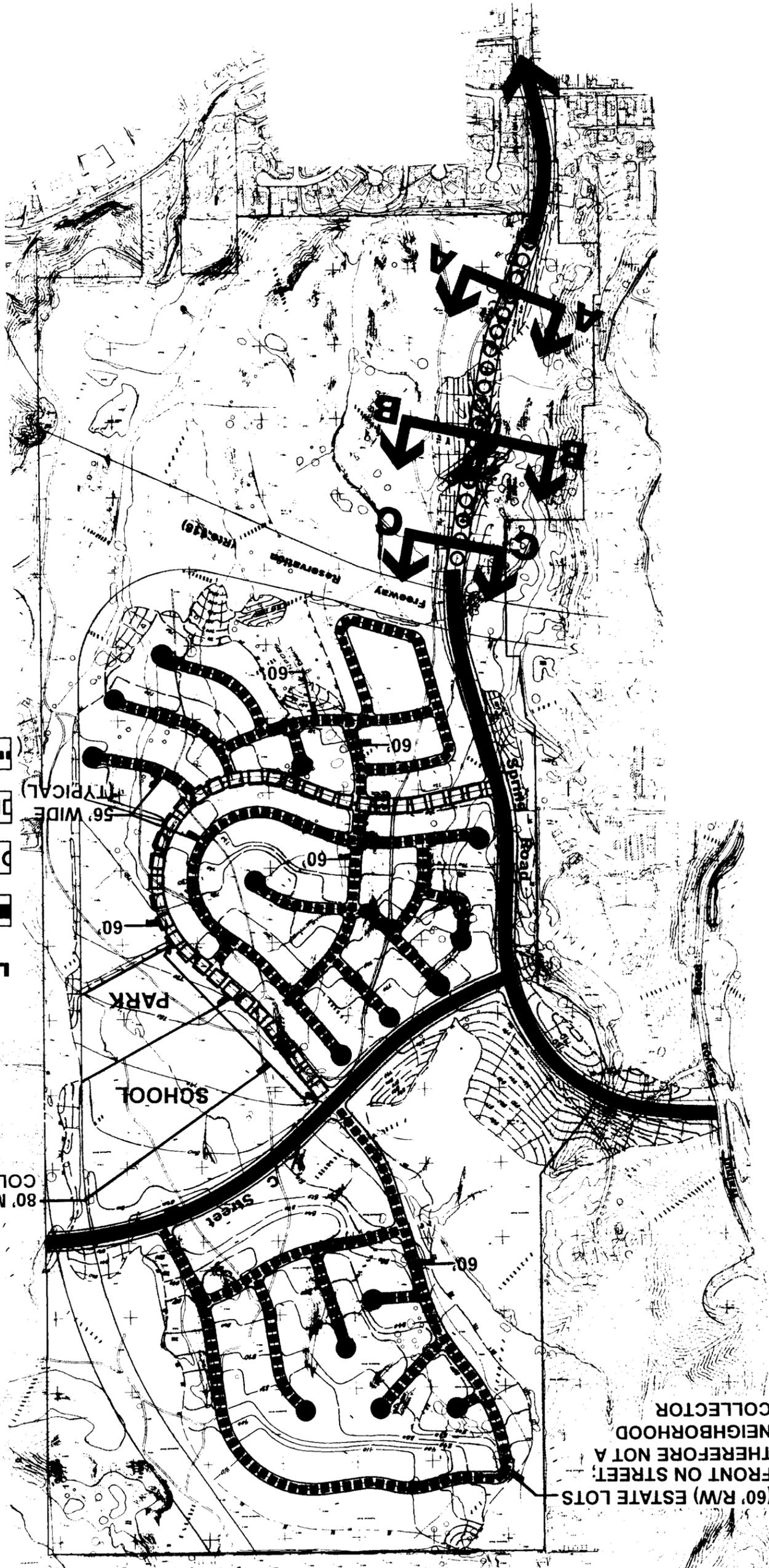
The principal thoroughfare which traverses Specific Plan No. 2 in a north/south direction is referred to herein as a major arterial and is called Spring Road. The extension of Spring Road begins at Charles Street on the south and terminates at Walnut Canyon Road. A cross-section of this road is shown on Exhibit 11A and 11B. A second arterial level roadway is proposed beginning at Spring Road (south of the proposed neighborhood park) and traversing Specific Plan No. 2 in an east-west direction. This arterial provides access to the neighborhood collectors and consistent with the general purpose of 'C' Street shown in the Moorpark Circulation Plan.

The arterials would consist of a right-of-way of 104 feet, with the exception of a portion of Spring Road which transitions to a 94-foot right-of-way, while extending through the Habitat Conservation Plan (HCP) Area within the southern portion of the site. An equestrian trail is currently proposed adjacent to the east/west arterial and a portion of the north/south arterial. The 104-foot roadway cross-section would include a 14-foot median, four travel lanes, one Class I bike lane, one Class II bike and emergency parking lanes, and 5-foot detached sidewalks on both sides of the roadway. The Class I bike lane would occur on the east side of Spring Road from Charles Street to "C" Street, and on the south side of "C" Street from Spring Road to the property boundary. Class II bike lanes would occur on the west side of Spring Road from Charles Street to Walnut Canyon Road, and on the north side of "C" Street from Spring Road to the property boundary. The 94-foot roadway cross-section would include a 10-foot median, four travel lanes, one Class I bike lane (east side of road), one Class II bike and emergency parking lanes. The Class I bike lane would occur within a 10-foot easement along the east side of the roadway. A 5-foot sidewalk would be provided on the west side of the roadway. As stated above, the proposed cross-sections of the Arterial with the 104- and 94-foot right-of-ways are shown on Exhibit 11A and 11B, respectively. The location of final improvements will be subject to the approval of the Public Works Department and Community Development Department.

- LEGEND**
- Arterial Roadway 104' RM
 - Arterial Roadway 94' RM (HCP area)
 - Neighborhood Collector 60' RM
 - Residential Streets & Cul-De-Sacs



80' MODIFIED COLLECTOR



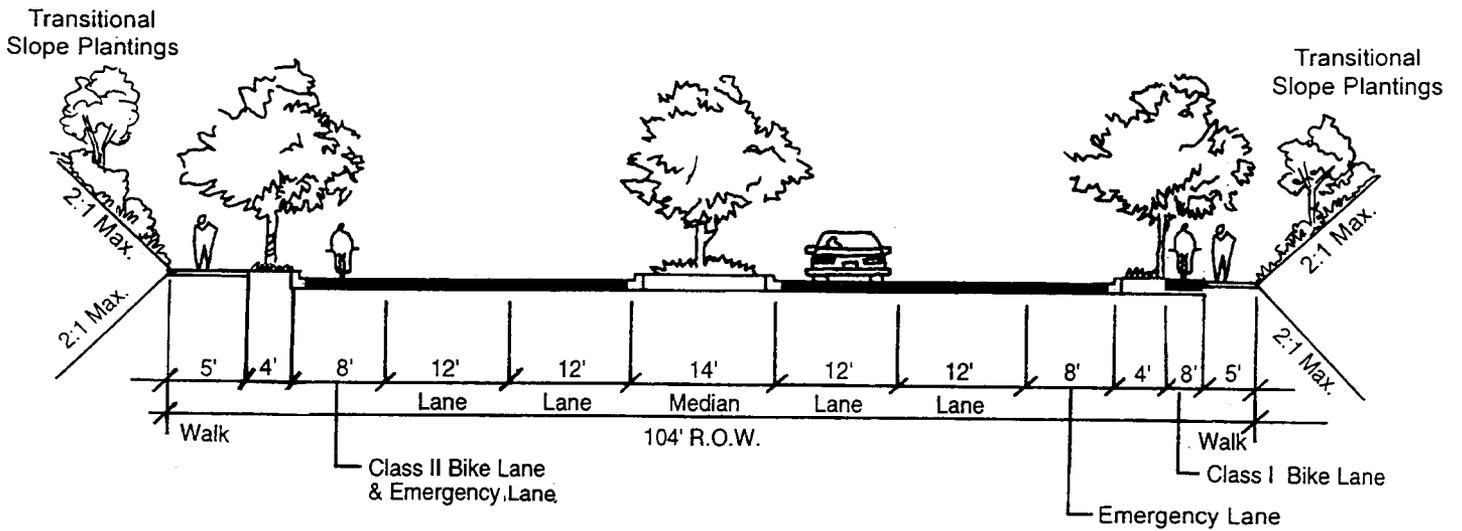
(60' RM) ESTATE LOTS
FRONT ON STREET,
THEREFORE NOT A
NEIGHBORHOOD
COLLECTOR



SCALE 1" = 600

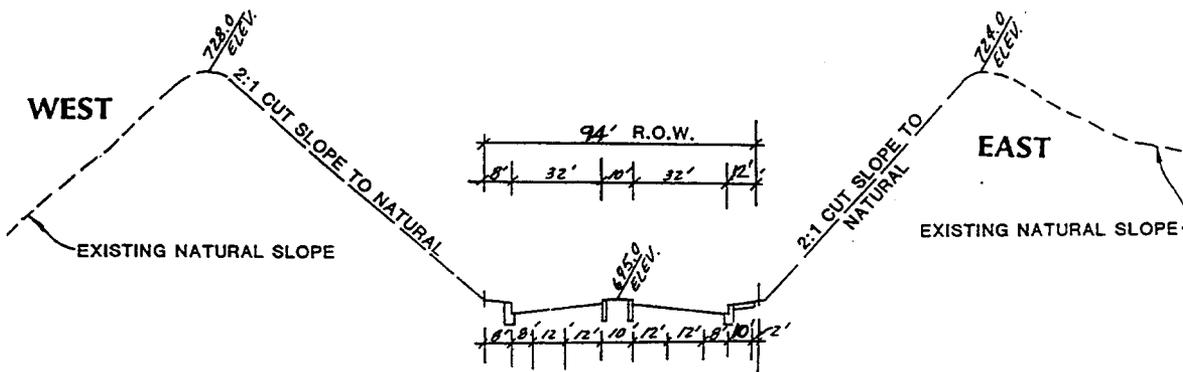
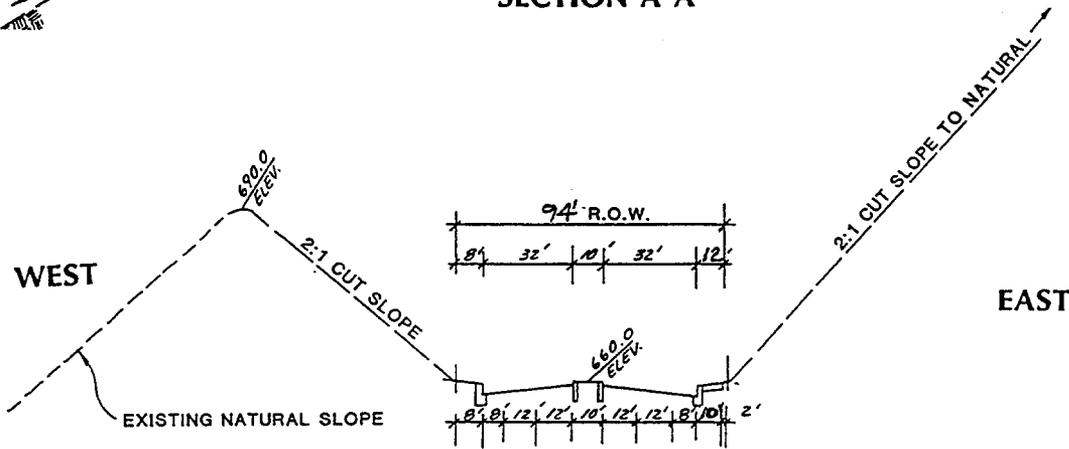
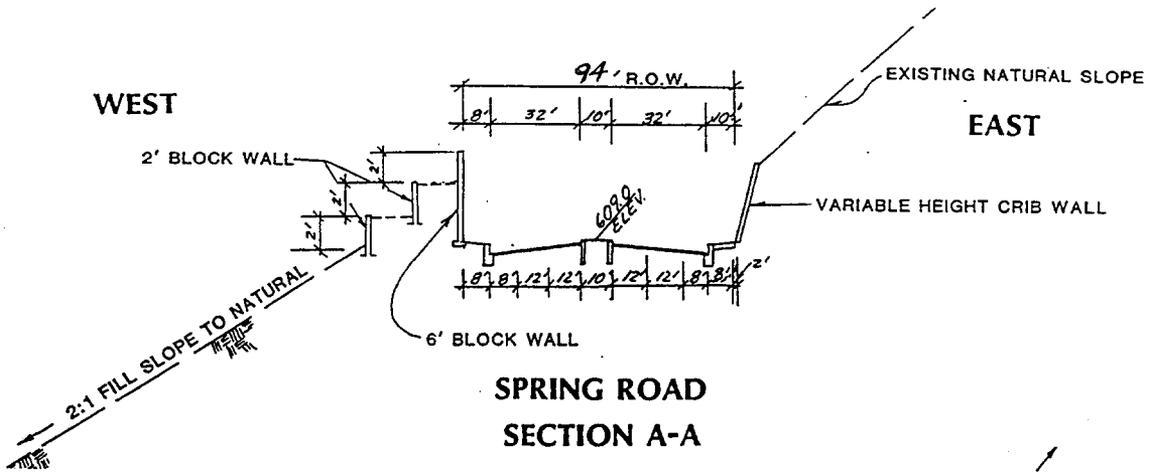
EDAW

Source: Ramseyer and Associates, Inc.



ARTERIAL ROADWAY

- Note:**
1. Spring Road: Condition occurs from Charles Street to "C" Street
 2. "C" Street: Condition occurs from Spring Road to Property Boundary



The arterials proposed within Specific Plan No. 2 would exceed the City's minimum standards for the Four-Lane Arterial and Rural Collector roadway classifications in the General Plan Circulation Element. The major north/south arterial is planned as a four-lane parkway with a center median which would be 14 feet wide. This arterial would serve as a major design theme parkway; it would connect neighborhoods and open space/recreational areas both on-site and off-site. The parkway would be user friendly with walkways, bike lanes, and planting areas at the street edge. A 12-foot multi-use equestrian/hiking trail is located along a portion of the Spring Road extension.

The north/south arterial is also planned with respect to the existing topographic features of the site while utilizing design criteria that meet Caltrans standards for arterial design speed and safety. The roadway would be designed to accommodate 45 mile per hour speeds, with a minimum curve radius of 800 feet and 7 percent maximum grade, consistent with Caltrans arterial roadway design standards.

Traffic signals along the arterials are not proposed nor are they required for this development based upon the traffic study prepared by Austin-Foust Associates.

2. Off-Site Improvements

Spring Road is to be improved to a 104-foot right-of-way (including sidewalks and Class II Bikeways) as it extends to the south and northwest beyond the Specific Plan No. 2 boundaries. Widening of Spring Road would be required from the Specific Plan No. 2 boundary to High Street. This widening would result in the acquisition of a vacant lot at the western corner of Spring Road and Charles Street. Additionally, Spring Road would need to be improved from the westerly Specific Plan No. 2 boundary to the Walnut Canyon Road connection. This would require acquisition of vacant land between the westerly Specific Plan boundary and the connection point to Walnut Canyon Road.

B. Governance

The governance of and responsibility to maintain the circulation system, which includes the identified roadways within the Specific Plan No. 2, as well as those portions identified in item 2 above, that extend beyond the Specific Plan boundary (as discussed in subsections 5.1.1, 5.1.2, and 5.1.3), would belong to the appropriate agency as described herein. Since the Specific Plan No. 2 circulation system would be public, the ultimate acceptance of responsibility would be with the City of Moorpark and be in accord with all applicable laws. Private access drives described in subsection 5.1.3 would be owned and maintained by individual homeowners (i.e., flag lots) or the homeowners association. The Ventura County Waterworks District No. 1 would accept and maintain the new private street to be provided from the Spring Road extension to its district office.

C. Financing

The Project Applicant would be responsible for financing and construction of the circulation system improvements necessary to support development proposed within Specific Plan No. 2 (as discussed in subsections 5.1.1, 5.1.3, and 5.1.3). As a condition of recordation of a Tentative Tract Map, the Project Applicant would be required to provide the City of Moorpark with acceptable assurances that both on-site and off-site

improvements would be completed. The terms of such agreement would be contained in an Improvement Agreement, consistent with Government Code Section 66462(a).

D. Phasing

The Community Arterials contained within each of the Specific Plan No. 2 phases would be constructed prior to the first building occupancy approval within the corresponding phase. Collector and Interior Streets would be constructed prior to the issuance of a building permit for permanent structure which would be serviced or accessed by such roadways. The phasing of off-site improvements described in subsections 5.1.1 and 5.1.3 would be contained in an Improvement Agreement, consistent with Government Code Section 66462(a).

5.1.2 Collector Streets

A. Description

1. On-Site Improvements

Neighborhood collectors would provide residential access to individual Planning Areas and parcels throughout Specific Plan No. 2.

- a. Collector Streets would include an 60-foot right-of-way with two travel lanes, two parking lanes, 5-foot sidewalks on both sides, and a minimum 15 feet of landscape parkway/setback on each side. The 15-foot landscape parkway/setback on each side includes 10 feet of landscape parkway on each side which occurs outside of the 60-foot right-of-way. This cross-section is shown on Exhibit 11C.

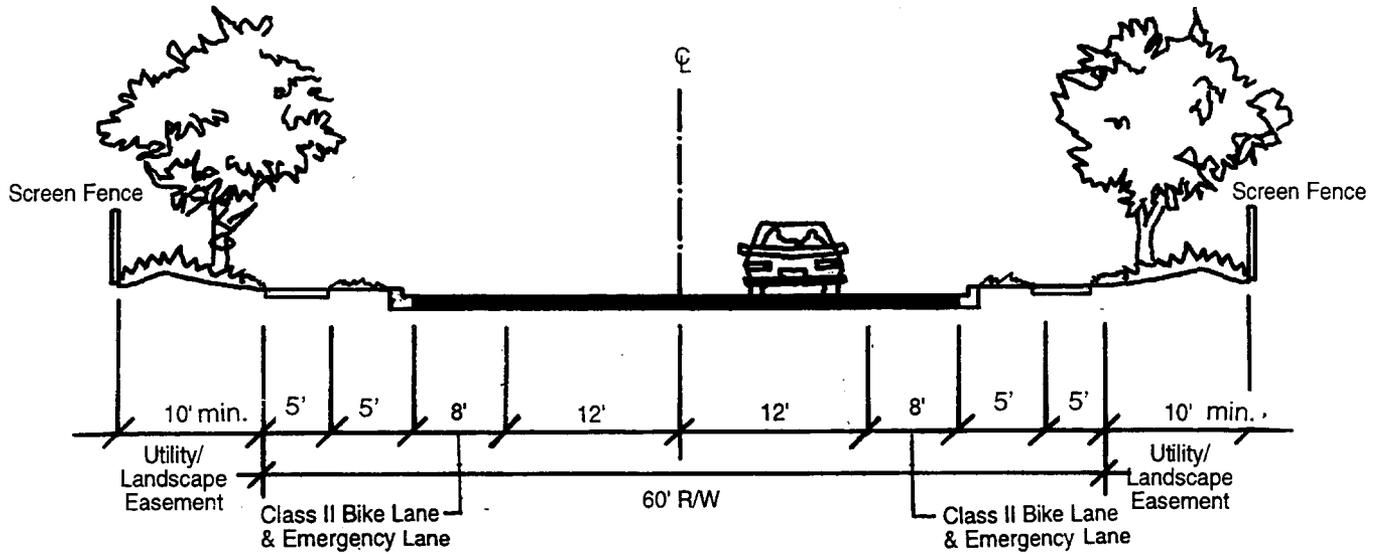
Specific Plan No. 2 includes one segment of collector roadway in excess of the 60-foot right-of-way. This segment includes an 80-foot right-of-way and is located along the joint school park frontage from C Street to the southerly boundary of the park. Please refer to Exhibit 10. The paved improvements within the designated right-of-way will be subject to the approval of the Public Works Department and the Community Development Department.

The City's Circulation Element standards for Local Collectors include a two-lane roadway with a typical right-of-way width of 60 feet and a curb-to-curb pavement width of 40 feet. The proposed 60-foot right-of-way Collector Streets, with a pavement width of 40 feet (including two travel lanes and two Class II bike and emergency parking lanes), exceeds the minimum standards for the City's Local Collectors.

Traffic signals along the collector streets are not proposed for this development based upon the traffic study prepared by Austin Foust Associates. Signals would be required for cumulative traffic projections, as addressed in the Specific Plan No. 2 Environmental Impact Report, and a fair-share contribution to fund installation of signals is a mitigation requirement. Please refer to the mitigation measures of the Specific Plan (bound separately) for a list of required "fair share" contributions to cover traffic signals and/or improvements identified by the EIR.

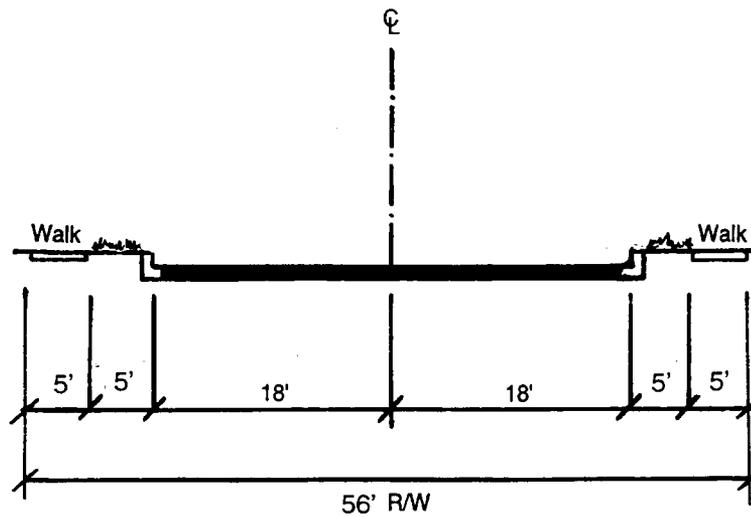
2. Off-Site Improvements

Specific Plan No. 2 does not require off-site improvements for neighborhood collector streets.



COLLECTOR STREETS

Note: Modified Collector has 80' R/W Refer to Exhibit 10.



**RESIDENTIAL STREETS AND CUL-DE-SACS
WITH PARKWAY**

5.1.3 Interior Residential Streets

A. Description

1. On-Site Improvements

An interior residential street system would provide direct access to residential units, as well as providing residents with access to the overall street system.

- a. Residential Streets and Cull-de-Sacs would consist of a 36-foot curb-to-curb paving with 5-foot sidewalks adjacent to the curbs and two travel lanes within a 56-foot right-of-way (see Exhibit 11C). Parking would be allowed on Residential streets and cul-de-sacs.

The City's standards for Residential Streets include a roadway with a typical right-of-way width of 56 feet and a curb-to-curb pavement width of 36 feet. Typical cul-de-sac right-of-way width is 52 feet and curb-to-curb pavement width of 32 feet. The planned residential streets would exceed the City standards. Cul-de-sacs would also exceed City standards.

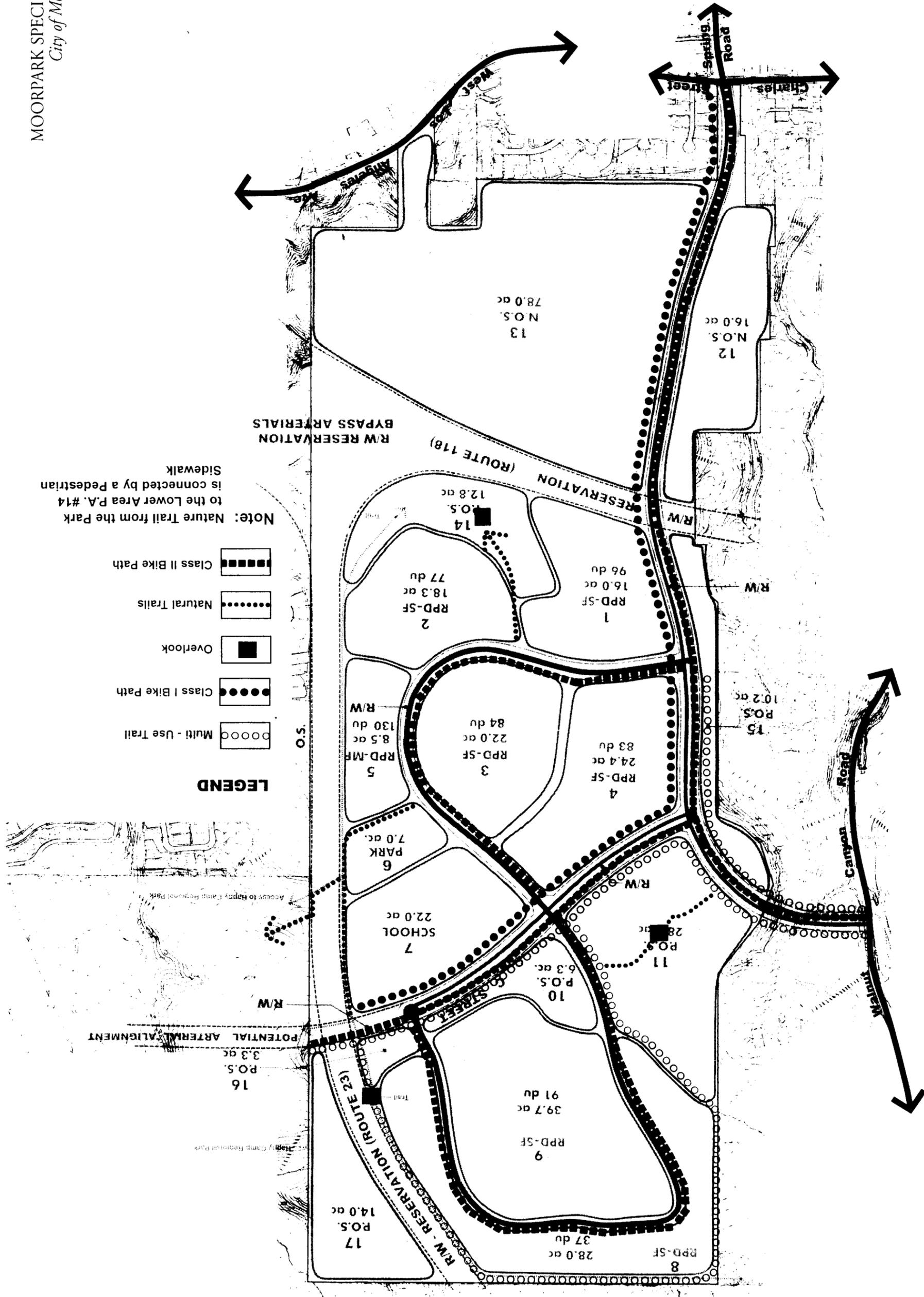
- b. Private Drive access including up to 24 feet of paving would be constructed to meet or exceed the requirements of Title 17, Zoning, of the Moorpark Municipal Code. There would be no sidewalks and curbs would be optional. Parking would not be permitted. Drainage and erosion would be addressed through lined roadside ditches provided on each side of the drives, where curbs are not utilized, in conformance with City requirements. Private drives are currently envisioned to provide access to flag lots and storm drainage facilities within Specific Plan No. 2. Section 17.32.060.E of Title 17 requires a minimum access width of 20 feet for flag lots.

2. Off-Site Improvements

Specific Plan No. 2 does not require off-site improvements for residential streets. Specific Plan No. 2 would include construction of a new private street access from the Spring Road extension to the Ventura County Waterworks District No. 1 office, located at 7150 Walnut Canyon Road.

5.2 Alternative Circulation

Facilities to accommodate bicycles, pedestrians, equestrians, and transit are an important part of the Specific Plan No. 2 circulation system. Exhibit 12 provides an illustration of the location of the proposed multi-use trail, Class I and II bikeways, and pedestrian pathways system, as it relates to the overall framework of the community design and open space system, creating an attractive visual environment for trail enthusiasts.



Note: Nature Trail from the Park is connected by a Pedestrian Sidewalk to the Lower Area P.A. #14

- LEGEND**
- ○ ○ ○ ○ Multi - Use Trail
 - ● ● ● ● Class I Bike Path
 - Overlook
 - ⋯ ⋯ ⋯ Natural Trails
 - ▤ ▤ ▤ ▤ ▤ Class II Bike Path

5.2.1 Multi-Use Trail

A. Description

1. On-Site Improvements

An off-street, 12-foot-wide multi-use trail is planned to connect the Specific Plan open space areas to potential multi-use trails off-site. The multi-use trail would provide equestrian, pedestrian and limited bicycle access to the neighborhood park and off-site recreational amenities. Exhibit 12A provides a cross-section of the multi-use trail.

The multi-use trail would be located along proposed roadways to minimize environmental impacts due to grading. At the locations where the multi-use trail extends across arterial or collector roadways, horse crossing signage would be provided. The multi-use trail improvements are proposed to have a surface consisting of decomposed granite.

2. Off-Site Improvements

Specific Plan No. 2 does not include off-site improvements to multi-use trails.

B. Governance

The Project Applicant would dedicate the multi-use trail easement to the Master Homeowners Association, City of Moorpark or another appropriate agency, as determined by the City, such as but not limited to the Santa Monica Mountains Conservancy, for governance and maintenance.

C. Financing

The Project Applicant would be responsible for financing and construction of the Multi-Use Trail, in conjunction with the construction of Spring Road and "C" Street, prior to dedication of a trail easement.

D. Phasing

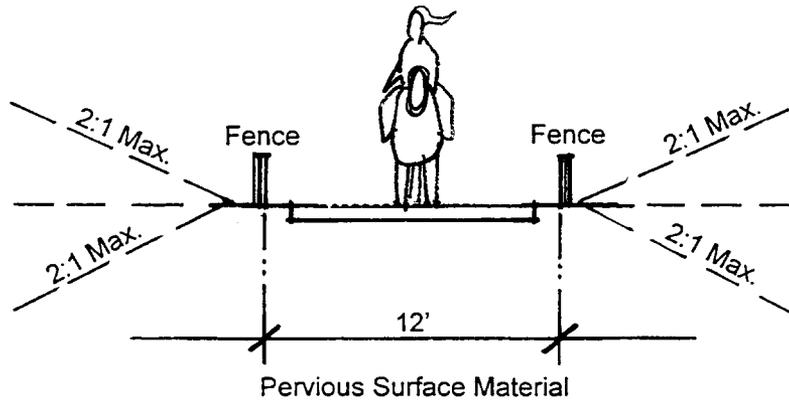
Phasing of the Multi-Use Trail would be concurrently with the phased construction of the Community Arterials.

5.2.2 Sidewalks

A. Description

1. On-Site Improvements

Sidewalks would be located throughout the development along roadways. The sidewalks would provide access to the individual residential neighborhoods, the neighborhood park, and school. These sidewalks would be five (5) foot wide paved, pathways.



2. **Off-Site Improvements**

The only off-site improvements to sidewalks would be along Spring Road, as described in Section 5.1.1, Off-Site Improvements.

B. Governance

The Project Applicant would dedicate the sidewalks along the public residential streets to the City of Moorpark for governance and maintenance. Sidewalks along planned arterials and collectors would be owned and maintained by a Master Homeowners Association.

C. Financing

The Project Applicant would be responsible for financing and construction of the sidewalks.

D. Phasing

The sidewalks contained within each of the phases would be constructed concurrently with the phased construction of the Circulation System.

5.2.3 Natural Trails

A. Description

1. **On-Site Improvements**

Natural trails would provide access to private open space areas within Specific Plan No. 2. The trails located within the private open space would be limited to clearing only, minimizing impacts to the existing terrain. The width of these trails would be a maximum of three (3) feet and would be comprised of dirt or decomposed granite. Trail access would be restricted and posted signs and barrier posts would be installed at entrances to designate the natural trails for hiking/pedestrian use only.

2. **Off-Site Improvements**

Specific Plan No. 2 does not include off-site improvements to nature trails.

B. Governance

The Project Applicant would dedicate the private open space within which the natural trails are located to a Master Homeowners Association for governance and maintenance.

C. Financing

The Project Applicant would be responsible for financing and construction of the trails.

D. Phasing

Construction of the Natural Trails north of “C” Street will commence with the issuance of the first building permit for residential development north of “C” Street within adjacent Planning Area phases, and construction of the Natural Trails south of “C” Street will commence with the issuance of the first building permit for residential development south of “C” Street within adjacent Planning Area phases.

5.2.4 Bicycle System

A. Description

1. On-Site Improvements

The major arterials would include a Class I bike lane of 8 feet on one side and a Class II bike lane of 8 feet on one side. The Class I bike lanes would occur on the east side of Spring Road from Charles Street to “C” Street, and on the south side of “C” Street from Spring Road to the property boundary. The Class II bike lanes would occur on the west side of Spring Road from Charles Street to Walnut Canyon Road, and on the north side of “C” Street from Spring Road to the property boundary. Collectors would include a Class II bike lane of 8 feet on each side. Refer to Exhibit 12 for the locations of these bike lanes.

Figure 3 of the Moorpark Circulation Element provides the City’s proposed Bikeway Element. This element shows a Class II bikeway along the Spring Road extension through Specific Plan No. 2. The proposed bicycle system for Specific Plan No. 2 (Exhibit 12) provides Class I and Class II bikeways consistent with and in excess of the City’s Circulation Element.

2. Off-Site Improvements

The only off-site bikeway improvements would be along Spring Road, as described in Section 5.1.1, Off-Site Improvements.

B. Governance

The Project Applicant would dedicate the public streets including the bicycle systems within the roadway right-of-way to the City of Moorpark for governance and maintenance.

C. Financing

The Project Applicant would be responsible for financing and construction of the bicycle system with ultimate ownership determined through dedication to the City of Moorpark.

D. Phasing

The bicycle system contained within each of the phases would be constructed concurrently with the phased construction of the Circulation System.

5.2.5 Transit System

A. Description

1. On-Site Improvements

The arterial and potential collector right-of-ways proposed within Specific Plan No. 2 would allow for the implementation of bus turn-outs. The specific location of bus stops and the type of stops to be provided would be determined at the time of subdivision map and Residential Planned Development (RPD) permit approval. Covered bus stop benches would be required to be provided for each bus stop. No bus stops would be planned along Spring Road between the right of way reservation area for State Route 118 and Charles Street.

2. Off-Site Improvements

The need for and specific location of off-site bus stops would be determined at the time of subdivision map and RPD permit approval.

B. Governance

The Project Applicant would be responsible for the construction of the bus turn-out areas within the right-of-ways. Ultimate ownership of right-of-way would be with the City of Moorpark. The covered bus stop benches would be constructed within the sidewalk area that would be owned by the City and maintained by the Master Homeowners Association.

C. Financing

The Project Applicant would be responsible for financing and construction of the bus turn-outs and covered bus benches. Ultimate maintenance responsibility would be the City of Moorpark for the bus turnout areas within the right-of-ways and the Master Homeowners Association for the bus stop benches.

D. Phasing

The bus turn-outs contained within each of the development phases would be constructed concurrently with the Circulation System.

6.0 INFRASTRUCTURE PLAN

The Infrastructure Plan section, which includes the subsections of Storm Drainage and Sanitary Sewer and Water, presents the results of a preliminary hydrology/drainage study sewer and water demand analysis and how the system for Specific Plan No. 2 would be provided. The responsibility for construction, the funding mechanism (for both construction and on-going maintenance), the administering agency ultimately responsible for governing each system or service, and the phasing of the construction/installation are defined. A detailed discussion of impacts on the storm drain, water and sewer facilities and measures to mitigate the impacts are provided in the EIR. Mitigation measures are also included in the Mitigation Monitoring Program bound separately.

6.1 Storm Drainage

6.1.1 Drainage System

A. Description

Specific Plan No. 2 lies within two watersheds tributary to the Arroyo Simi: Castro-Williams watershed and Happy Camp Canyon watershed. Adjacent to Specific Plan No. 2 lies the easterly portion of the Walnut-Gabbert watershed. The Castro-Williams watershed drains to the southerly end of Specific Plan No. 2 at two locations: Spring Road and two detention basins north of existing single-family homes on Charles Street, straddling the southern boundary of Specific Plan No. 2.

These two existing detention basins connect to each other and are drained by a 60-inch Reinforced Concrete Pipe (RCP) through the existing single-family homes. The Existing Conditions Hydrology Map is shown as Exhibit 13, and the Hydrology Map for Post Development Conditions is shown on Exhibit 14.

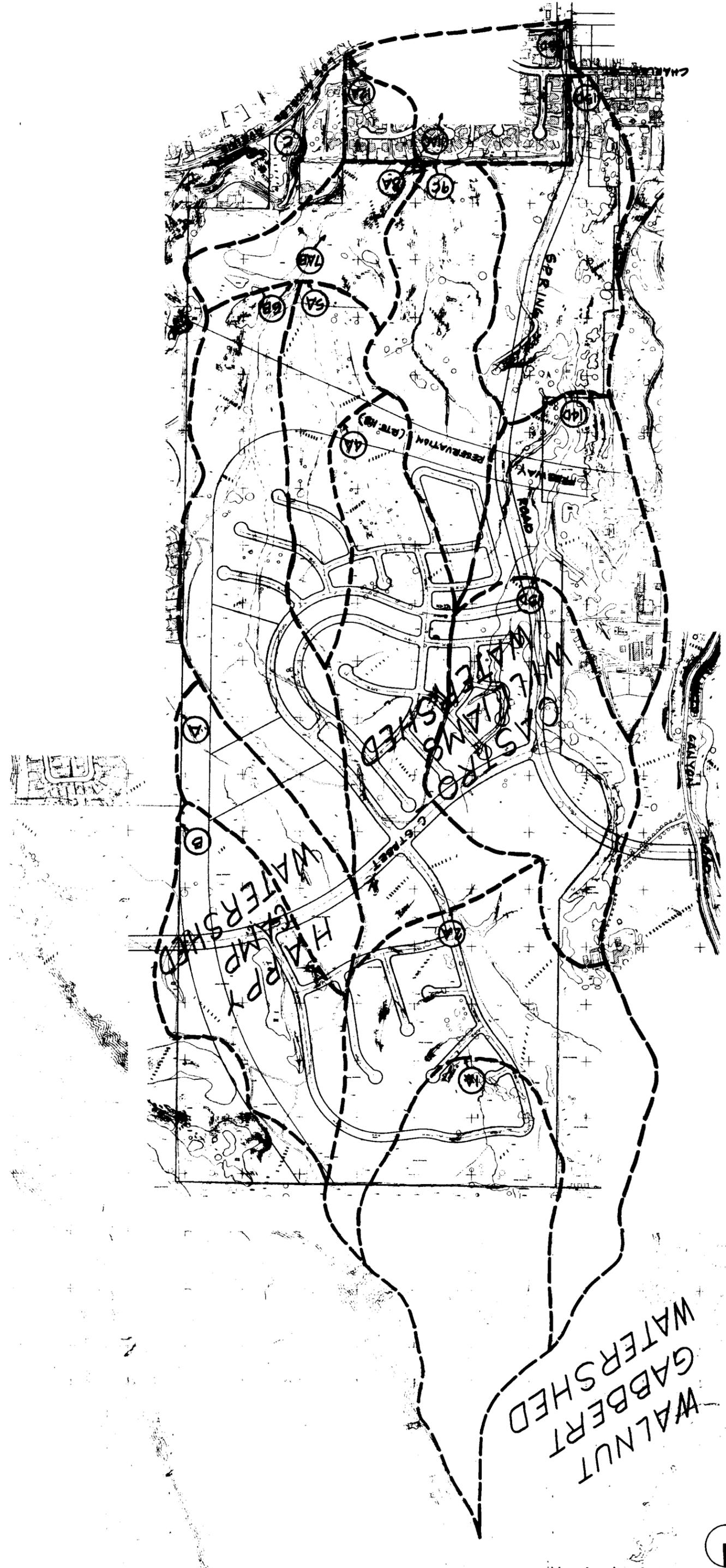
Development of Specific Plan No. 2 would alter the flow patterns and divert some additional water to the Castro-Williams watershed. Subarea A of the Happy Camp Canyon watershed is partially diverted as are portions of Subarea B. Portions of the Castro-Williams watershed tributary to Spring Road are diverted to the two existing detention basins at the southerly end of Specific Plan No. 2. The purpose of these diversions is to reduce the developed impacts on existing storm drains while adding flows to systems that are capable of handling additional detention.

Pursuant to the Federal Clean Water Act, Section 402 (p), and the State General Construction Activity Storm Water Permit, a NPDES permit would be required for all subsequent development projects that would disturb more than five acres.

It is premature now for actual NPDES report/data to be prepared for Specific Plan No. 2. However, the NPDES permit process does require that a permit application contain a project drainage report, along with the submittal of the Storm Water Pollution Prevention Plan (SWPPP) worksheet. Both the report and the worksheet identify any watercourses affected by construction activity, and a comprehensive listing of drainage Best Management Practice (BMP) mitigations that would be provided. BMPs can include a full spectrum of drainage devices, including earth dikes, drainage swales, siltation fencing, sand bag and bale barriers, storm drain inlet protection, sediment traps, desilting basins, etc.

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MOORPARK SPECIFIC PLAN NO. 2
City of Moorpark, California



SCALE 1" = 710'

EDAW

Source: Ramseyer and Associates, Inc.

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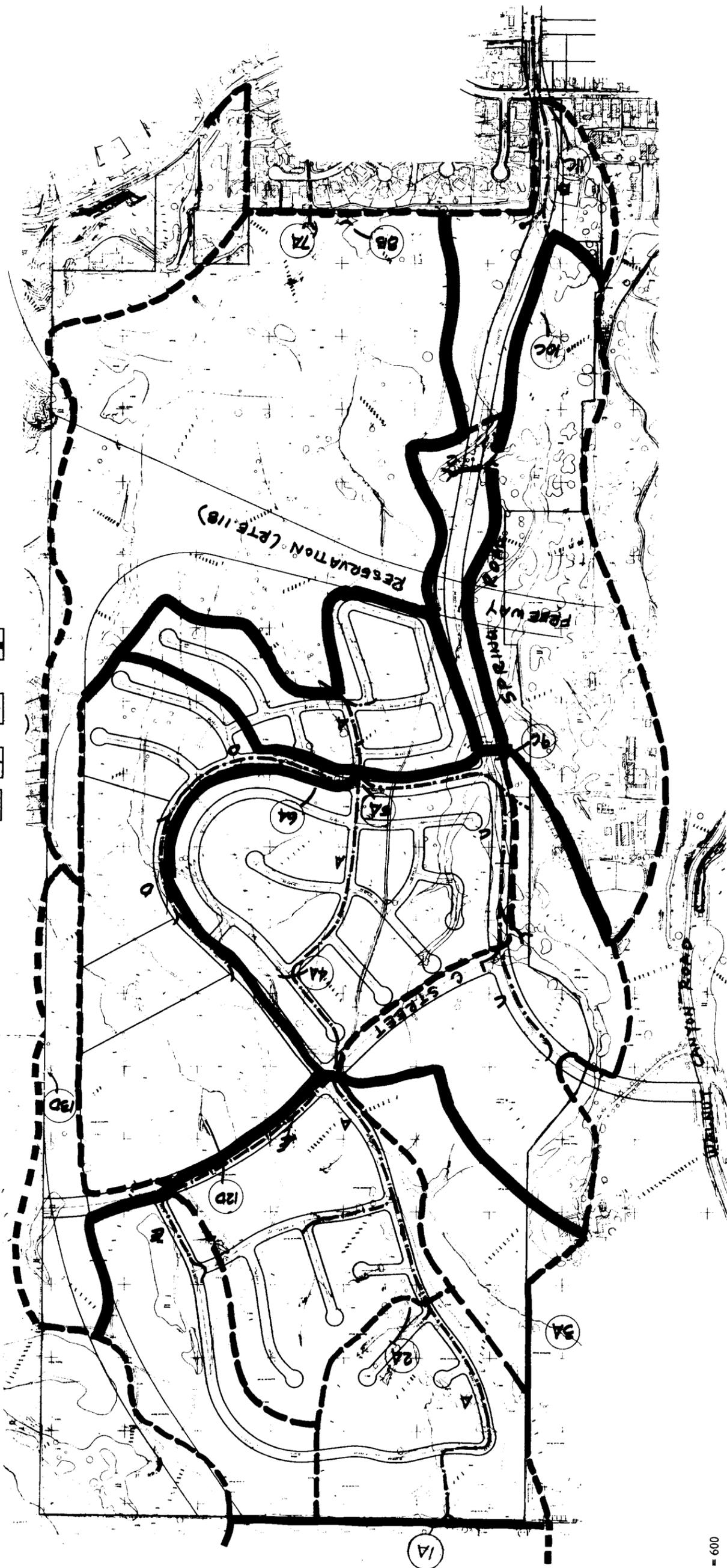
Exhibit 13

Hydrology Map -
Existing Conditions

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MOORPARK SPECIFIC PLAN NO. 2
City of Moorpark, California

- LEGEND**
- Existing Storm Drains (Exhibit 15)
 - Proposed Storm Drains (Exhibit 15)
 - Hydrolic Boundaries (Exhibit 13)
 - Developed Hydrolic Boundaries
 - Existing Storm Drains
 - Proposed Storm Drains (Exhibit 15)
 - Hydrolic Boundaries (Exhibit 13)
 - Developed Hydrolic Boundaries
 - Boundaries



SCALE 1" = 600

EDAW

Source: Ramseyer and Associates, Inc.

5/99

Exhibit 14

Hydrology Map - Post
Development Conditions

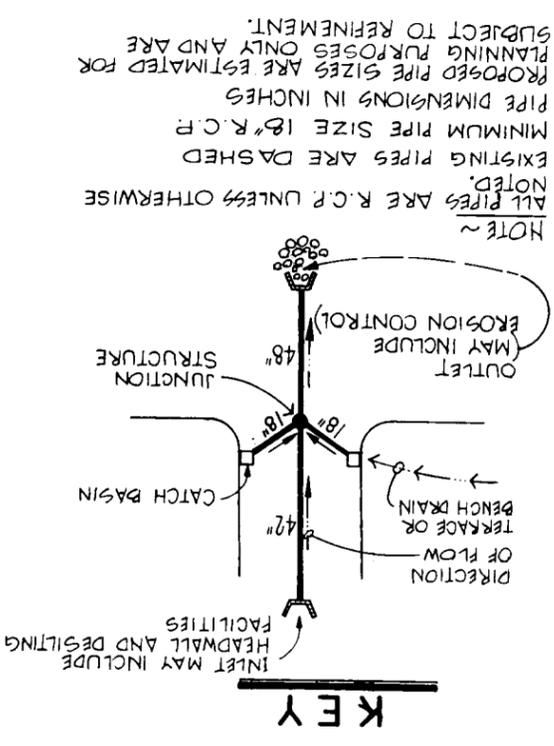
The State has identified Hydrologic Units and Watersheds for the Ventura/Los Angeles region. Each Hydrologic Unit has specific water quality objectives for water bodies in the area. The objectives include an outline of beneficial uses and specific quality standards that would be followed. The Specific Plan would conform to all water quality requirements. A more detailed discussion of potential impacts and mitigation measures would be included in the EIR for Specific Plan No. 2.

1. On-Site Improvements

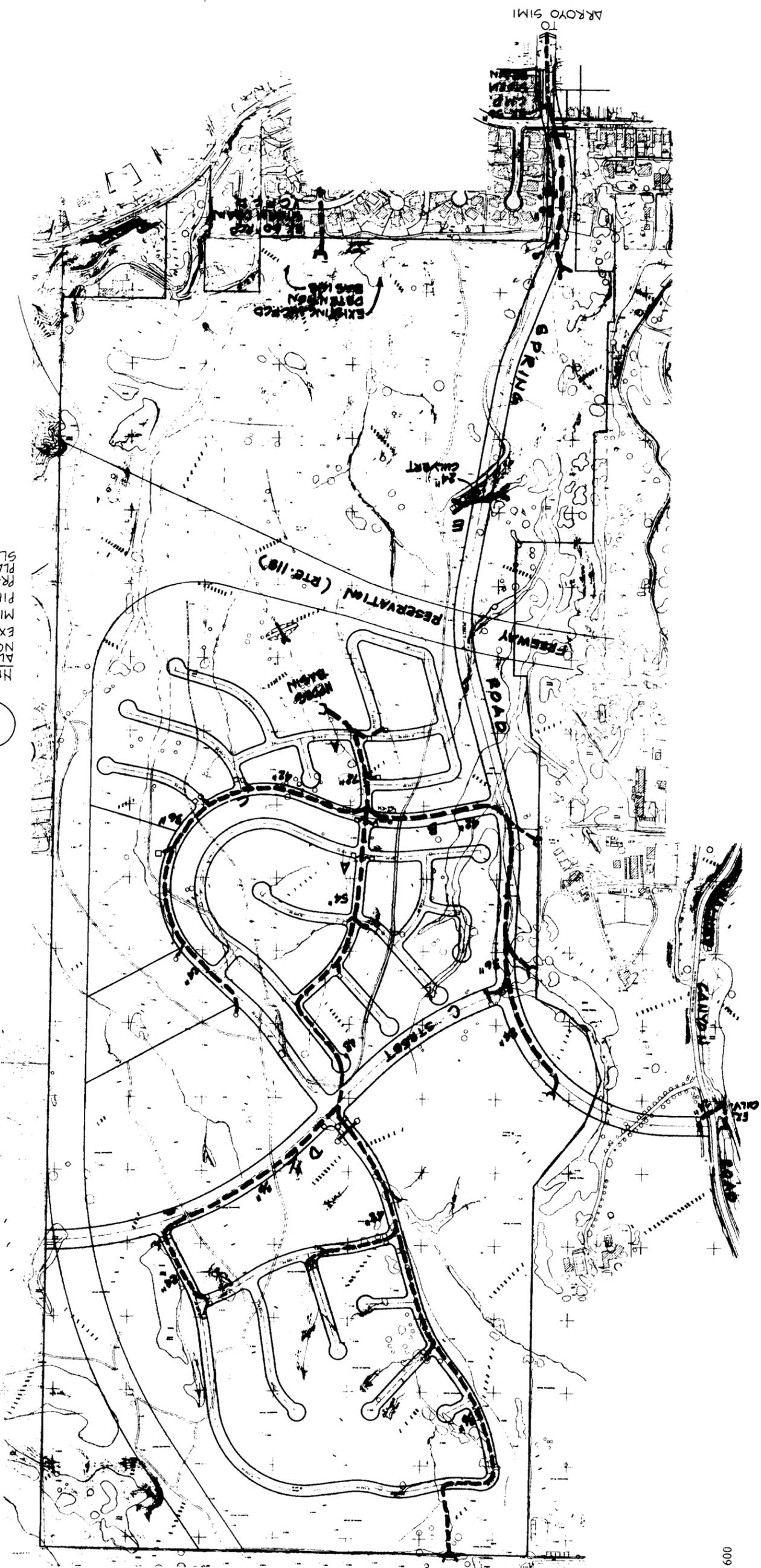
The entire drainage system for Specific Plan No. 2 is shown in Exhibit 15, proposed Storm Drainage System. There are five existing storm drain systems surrounding Specific Plan No. 2. There is an existing culvert parallel to Walnut Canyon Road along the west side of the property boundary and adjacent to the location for the proposed connection of Spring Road to Walnut Canyon Road. The Specific Plan No. 2 anticipates connection to this pipe and the channel adjacent to the road with two catch basins and a small drain pipe. There are also storm drains and existing detention basins on the east side of Specific Plan No. 2, adjacent to the existing residential projects. The Specific Plan No. 2 does not propose to connect any storm drains directly to these facilities; however, there is some contribution of storm flows from Specific Plan No. 2. As described above, Subarea A of the Happy Camp Canyon watershed is completely diverted away from that watershed.

The proposed drainage system to Spring Road is shown as lines A and B in Exhibits 14 and 15. At the southern terminus of line A of the drainage system, to the north of the Freeway Reservation (SR 118) an energy dissipation outlet and NPDES basin would be constructed. The primary purpose is for conformance with National Pollutant Discharge Elimination System (NPDES) requirements imposed by the Ventura County Flood Control District (VCFCD). This basin is planned for bio-remediation and silt removal for developed storm run-off. Preliminary studies have shown that the existing VCFCD Castro-Williams detention basins upstream of Tract 2723 are adequate to contain, with freeboard, the expected run-off from Specific Plan No. 2. The NPDES basin further increases the capacity of the existing Castro-Williams basins by peak reduction (detention) and silt removal. The dissipation outlet and NPDES basin would capture drainage flows prior to their entering the natural drainage within the Habitat Conservation Plan (HCP) area. A copy of the HCP is contained in Appendix J of EIR.

The existing water course within the HCP would be retained in a natural configuration, or constructed such that the watercourse would support riparian vegetation. Channels within the HCP area would be unlined, and debris basins would have natural sediment bottoms. If a debris basin is required, cleaning due to excess sedimentation would be accomplished with minimal disturbance to perimeter vegetation, during late Summer or early Fall. Refer to the EIR for further discussion of the HCP. Mitigation measures related to drainage and biological resources are included in the EIR and Mitigation Monitoring Program.



NOTE ~
ALL PIPES ARE R.C.P. UNLESS OTHERWISE NOTED.
EXISTING PIPES ARE DASHED
MINIMUM PIPE SIZE 18" R.C.P.
PIPE DIMENSIONS IN INCHES
PROPOSED PIPE SIZES ARE ESTIMATED FOR PLANNING PURPOSES ONLY AND ARE SUBJECT TO REFINEMENT.



SCALE 1" = 600

EDAW

Source: Ramseyer and Associates, Inc.

5/99

As stated previously, there are two existing detention basins that were connected with the construction of the existing single-family homes along the southern border of Specific Plan No. 2. The reservoir pools are located within Specific Plan No. 2 while the dams are straddling the property boundary. Both these debris basins were built by the Soils Conservation Service and are to remain in place and undisturbed. These detention basins currently collect the majority of the existing storm flows and are proposed to collect storm flows from Specific Plan No. 2. Individual storm drain systems are shown on Exhibit 15 and serve the residential areas throughout Specific Plan No. 2. Proposed storm drain pipes B, C, D, E and F all drain to the Castro-Williams watershed. None of the proposed drains within Specific Plan No. 2 are red-line channels as defined by the Ventura County Flood Control District (VCFCD).

All of the storm drain facilities are RCP unless otherwise noted, with the minimum pipe size 18-inches. The proposed pipe sizes are estimated for planning purposes only and are subject to refinement, prior to the issuance of grading permits. All of the storm drains are located within the proposed public streets or easements to allow for the maintenance of the completed system.

2. Off-Site Improvements

The development of Specific Plan No. 2 would not require any specific off-site drainage improvements. However, at the southerly boundary of Specific Plan No. 2 there is an existing 36-inch Corrugated Steel Pipe (CSP) storm drain at the intersection of Charles Street and Spring Road. The City's Master Plan of Drainage anticipates that this CSP would be replaced by the Project Applicant with a RCP, at which point Specific Plan No. 2 would connect a storm drain.

Off-site drainage tributary to Specific Plan No. 2 is anticipated to be collected by the proposed storm drain system without the need for storm water acceptance deeds or off-site construction permission.

B. Governance

The ultimate ownership and maintenance of Storm Drainage facilities would be the responsibility of the Master Homeowners Association. Please refer to the Mitigation Monitoring Program (bound separately) for a listing of EIR mitigation measures such as; prior to issuance of any grading permit, the Project Applicant would submit a "Notice of Intent" (NOI), along with the required fee to the State Water Resources Control Board to be covered under the State NPDES General Construction permit and provide the City with a copy of the written reply containing the discharger's identification number.

C. Financing

The Project Applicant would be responsible for the financing and construction of the storm drain facility improvements necessary to support the development proposed.

D. Phasing

The Drainage System that shares the road right-of-way would be built concurrently with the Circulation System within each respective development phase (see Subsection 10.2.1). Portions of the drainage system that are not built within the road right-of-way would be built prior to the completion of each development phase, or as otherwise required by a Tentative Tract Map.

6.2 Sanitary Sewer

A. Description

Sewer service for Specific Plan No. 2 would be provided by Ventura County Waterworks District No. 1, and the District boundaries encompass 18,550 acres. Waterworks District No. 1 operates the Moorpark Wastewater Treatment Plant located at 9550 Los Angeles Avenue, approximately 4 miles west of the City of Moorpark. The District also maintains a series of trunk and distribution lines to convey sewage to the plant. The treatment plant has the design capacity of 3.0 million gallons per day (mgd). The average flow for 1996 was 1.9 mgd, which leaves a remaining capacity of 1.1 mgd. Waterworks District No. 1 plans to expand the existing treatment plant capacity from 3 million gallons per day to 5.0 million gallons per day. Waterworks District No. 1 is also currently updating its expansion plans as part of an updated master plan. The updated master plan addresses all known growth including the proposed Specific Plan No. 2. The update does not identify a need to expand the Treatment Plant beyond 5.0 mgd even with the current growth forecast.

1. On-Site Improvements

Development of Specific Plan No. 2 requires connection of on-site sewer lines to the existing system owned, operated, and maintained by Waterworks District No. 1. There are existing sewer lines south and west of the project.

Sewer service for Specific Plan No. 2 would be provided through a network of sewer pipe lines within public roads, or easements offered to Waterworks District No. 1. Due to street slopes and available fall within the system, no pipe size is anticipated to exceed 8-inches in diameter for the development of Specific Plan No. 2. The proposed sanitary sewer system is shown on Exhibit 16.

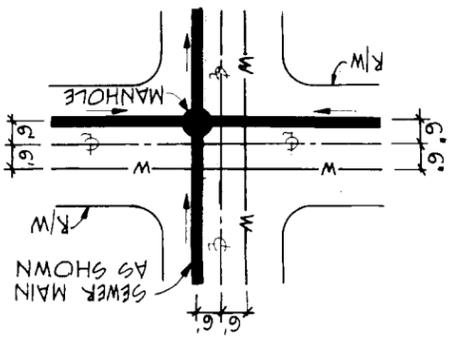
2. Off-Site Improvements

The proposed Sewer System would require the extension of the 8" sewer mains off-site to connect with the existing 10-inch line, that is stubbed north in the direction of Spring Road and Specific Plan No. 2, at the intersection of Los Angeles Avenue/High Street and Spring Road.

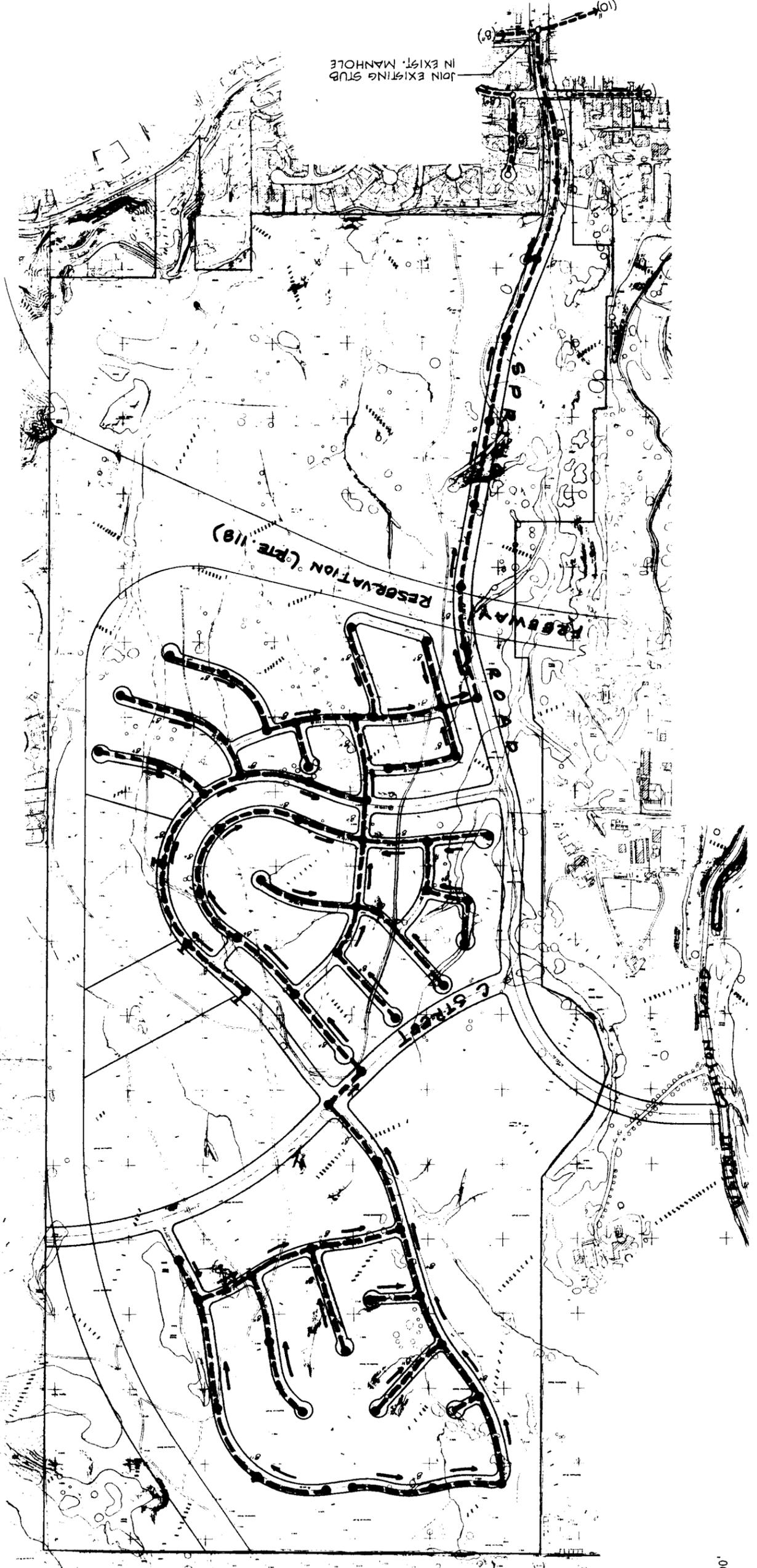
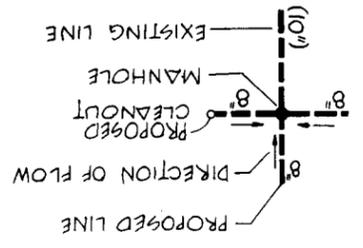
DRAFT

MOORPARK SPECIFIC PLAN NO. 2
City of Moorpark, California

LOCATION DETAIL
NO SCALE



KEY



SCALE 1" = 600'

EDAW

Source: Ramseyer and Associates, Inc.

5/99

Exhibit 16

Proposed Sanitary
Sewer System

This connection point is adequate for the development of the entire Specific Plan No. 2. Evaluation of the sewer system downstream performed by Ramseyer and Associates shows that the existing facilities would adequately carry the projected site flows. A more detailed discussion of the sewer demand analysis is provided in the EIR.

B. Governance

The governance of the Sanitary Sewer System within Specific Plan No. 2 would be the responsibility of the Ventura County Waterworks District No. 1, upon annexation to the District, prior to the approval of the first final subdivision map. The ultimate acceptance of responsibility would be according to applicable laws and regulations. Any changes in responsibility would not require an amendment to this Specific Plan.

C. Financing

The Project Applicant would be responsible to design, construct and dedicate the Specific Plan No. 2 on-site sewer collection system and a connection to the existing system. The Project Applicant would be responsible for paying all applicable fees in accordance with the Waterworks District No. 1 Rules and Regulations. The District allows sewer connection fees to be paid in two parts: 1) 60 percent prior to issuance of the sewer "will serve" letter and 2) 40 percent prior to issuance of a certificate of occupancy clearance by the District.

D. Phasing

That portion of the Sanitary Sewer System required to be constructed in any Development Phase would be built in construction increments prior to the issuance of a building permit for a permanent structure requiring the associated Sanitary Sewer System within such construction increment. Phase I (years 1-3) would include the extension of the proposed sewer main off-site to connect with the existing system in Spring Road. The Project Applicant would complete the extension of sewer improvements as required for Phase II (years 4-5) dwelling unit occupancies. Refer to Subsection 10.2.1 of this Specific Plan.

6.3 Water Supply

6.3.1 Domestic Water System

A. Description

Domestic water for Specific Plan No. 2 area would be provided by Ventura County Waterworks District No. 1. The District provides water to all of the customers within the District which includes most of the incorporated area of the City of Moorpark and unincorporated areas to the north and west of the City. Specific Plan No. 2 would require annexation into Waterworks District No. 1. The area of the District is 18,550 acres of which 43 percent is within the Moorpark City limits.

The District has use of both underground and imported water sources to service the area. The underground supply comes from seven existing wells. Imported water is delivered to the area by the Calleguas Municipal Water District (CMWD) through nine metered locations in the District. Approximately 75 percent of the County Waterworks District No. 1 water is obtained from the CMWD (Waterworks District No. 1 Water System Master Plan). The CMWD obtains its water from the Metropolitan Water District (MWD). CMWD is the wholesale water purveyor to Waterworks District No. 1, which in turn is the retail provider to all water users in the District, including the Specific Plan area.

1. On-Site Improvements

The proposed Water Service System is shown on Exhibit 17. The exhibit depicts the water system within Specific Plan No. 2 as well as the necessary additions and modifications beyond Specific Plan No. 2 boundaries. Specific Plan No. 2 lies within three pressure zones (1180, 944, and 757). The Specific Plan No. 2 lies mostly within the 1180 and 944 zones. The proposed on-site system includes a loop system for each zone interconnected with the adjacent zones.

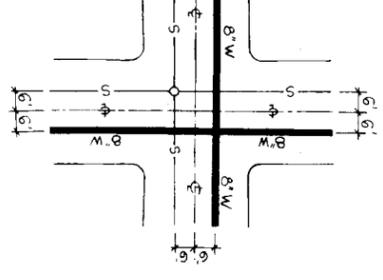
There is adequate fire flow within the system. To ensure adequate fire flow pressure, it is proposed that pressure reducing stations be equipped with bypass valves to allow back flow for fire from other zones. At the southerly extreme of the 1180 zone, Specific Plan No. 2 proposes to place two pressure reducing stations to connect to the 944 zone.

The 944 zone would in turn connect to an existing line in Walnut Canyon Road and to the major transmission line across the southerly third of the proposed site. The largest share of the site is contained in the 944 zone which falls below the east/west arterial and above the existing single-family homes south of the site. This system has several points of connection to the existing system which provides redundancy in case of failure of any component. Fire flow to this site is accomplished by pressure reduction from the 1180 zone or bypass valve from the 757 zone, southerly, as well as the easterly connection. As stated above, only a small portion of the 757 zone is within Specific Plan No. 2 area and serves fire hydrants and irrigation along the southernmost part of Spring Road.

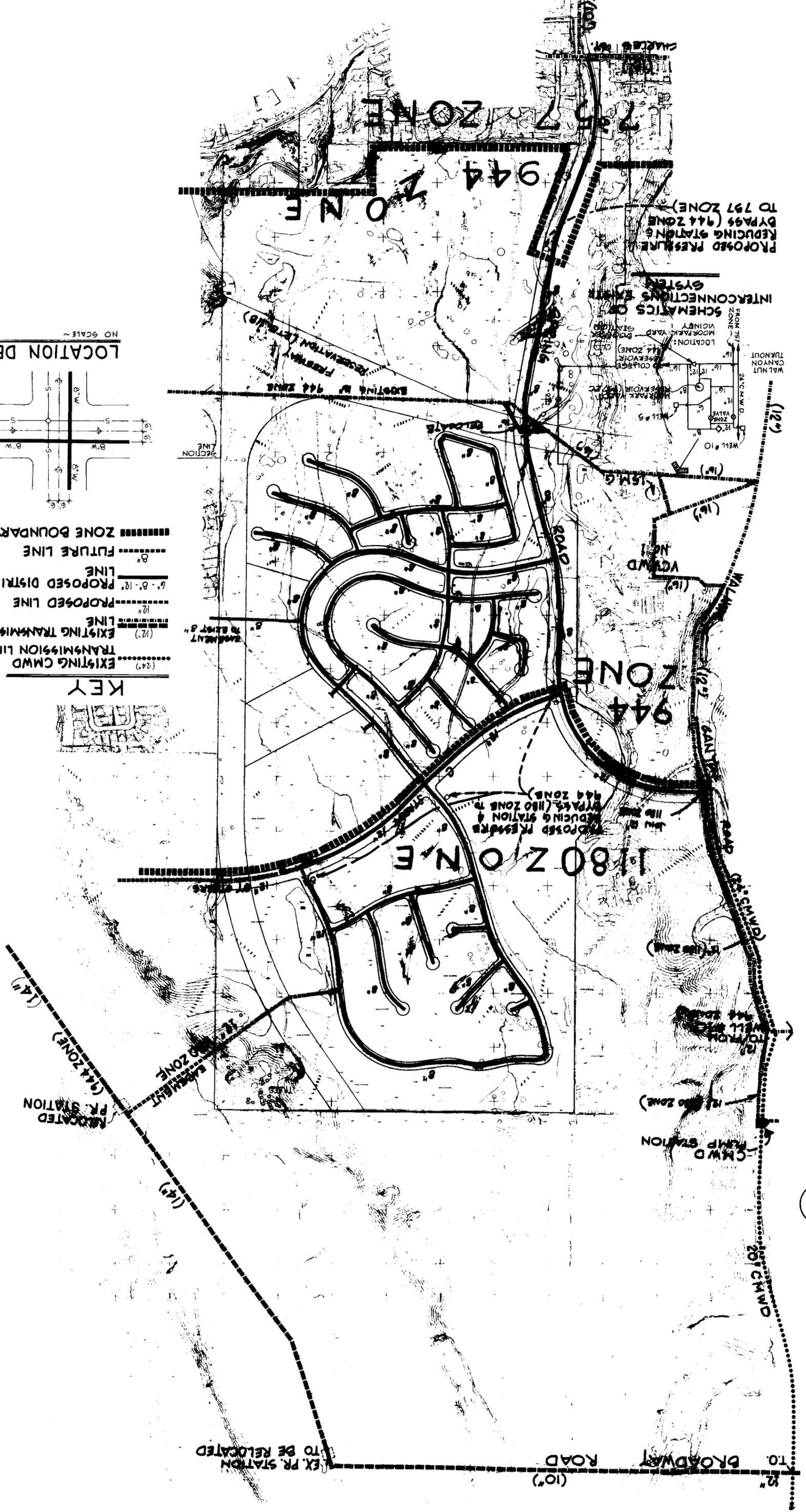
All the on-site lines are planned to loop and connect to more than one location to provide secondary service to every part of the system. All of the on-site lines would be sized to deliver a fire flow at appropriate quantities and pressures and are generally expected to be no larger than 8-inches in diameter. Exceptions to this size are the proposed 12-inch line through the northerly part of the 1180 zone within Specific Plan No. 2, and a 12-inch line within the area where the north/south and east/west arterials intersect.

Fire storage exists and is adequate for each zone and each zone can draw from adjacent zones according to the Ventura County Waterworks District No. 1 Master Plan. Prior to development and as a condition to the issuance of a "will service" letter, Specific Plan No. 2 would need to be annexed to Waterworks District No. 1.

LOCATION DETAIL
NO SCALE



- KEY**
- EXISTING CMDW TRANSMISSION LINE (24")
 - EXISTING TRANSMISSION LINE (12")
 - PROPOSED LINE (12")
 - PROPOSED DISTRIBUTION LINE (6" - 8" - 12")
 - FUTURE LINE (8")
 - ZONE BOUNDARY



SCALE 1" = 710'

EDAW

Source: Ramseyer and Associates, Inc.

5/99

2. Off-Site Improvements

The future pressure needed within the 1180 and 944 zones is accomplished by having the District's 757 pressure zone connected with a pressure reducing station south of the development. The 944 pressure zone would have one connection to the existing 16" water line passing through the southern portion of the site. The 1180 pressure zone would be connected within Walnut Canyon Road along the proposed new Spring Road extension to Walnut Canyon. The second connection to the 1180 zone would be to an existing 14" line northeast of the site. The existing District's pressure reducing station would be relocated to the south of the proposed point of connection. The existing booster pump station located at the District office (7150 Walnut Canyon Road) would be upgraded. An emergency generator would be included as part of the upgrade.

Another potential future source of water would be via a turnout connection to the planned Santa Clara Valley feeder, a project being planned by the MWD and CMWD. The wholesale districts are planning an alternate feeder line for water transmission into Ventura County, in addition to the existing feeder line which enters the County in Simi Valley. The proposed Santa Clara feeder, currently under study, is a 96-inch line to be extended down the Santa Clara Valley from the Castaic Lake area.

B. Governance

The governance of Water Service System within Specific Plan No. 2 would be the responsibility of the Ventura County Waterworks District No. 1. The Project Applicant would be responsible to obtain and dedicate the required easements. The ultimate acceptance of the responsibility would be according to applicable laws and regulations.

C. Financing

The Project Applicant would design, construct, and dedicate all on-site and off-site improvements to connect to the existing Waterworks District No. 1 system. Upon approval of a reimbursement agreement by the Board, the Project Applicant would be reimbursed for the actual cost of the booster pump station upgrade upon its completion. The Project Applicant would be responsible for paying all applicable fees in accordance with the District's Rules and Regulations.

D. Phasing

That portion of the Water Service System required to be constructed in any Development Phase would be built in construction increments prior to the issuance of a building permit for a permanent structure requiring the associated Water System within such construction increment. Phase I (years 1-3) would include the connection to the 944 water pressure zone. Phase II (years 4-5) would include the completion of all necessary improvements to connect with 1180 Water Pressure Zone. All necessary water related improvements to connect to the 1180 pressure zone would be completed in Phase II. Refer to Subsection 10.2.1 of this Specific Plan.

6.3.2 Reclaimed Water System

A. Description

Reclaimed water is potentially available from two sources: 1) Waterworks District No. 1 and 2) the City of Simi Valley. Both operate sewage treatment facilities from which reclaimed water may be available.

1. On-Site Improvements

It is planned for Specific Plan No. 2 to provide dual lines within the arterials to allow the use of reclaimed waste water for irrigation purposes (when available to the site), thereby reducing the use of potable water usage in Specific Plan No. 2. Areas of the plan that would use reclaimed irrigation include but are not limited to:

- Common areas for multi-family residential projects;
- Major roadways, parkways, and medians;
- Private open space areas; and
- Park and School sites.

2. Off-Site Improvements

Specific Plan No. 2 does not include off-site reclaimed water line extensions.

B. Governance

The governance of the Reclaimed Water Services within Specific Plan No. 2 would be the responsibility of the Ventura County Waterworks District No. 1. The ultimate acceptance of responsibility would be according to applicable laws and regulations.

C. Financing

The Project Applicant would be responsible for the financing and construction of the Reclaimed Water System improvements necessary to support the development proposed.

D. Phasing

Portions of the Reclaimed Water System that share the road right-of-way improvements would be built in stages concurrently with the construction of the Circulation System. Connection to reclaimed water providers would occur at such time when reclaimed water supplies are identified, and off-site Reclaimed Water System infrastructure is available.

7.0 COMMUNITY FACILITIES PLAN

The Public Services and Public Facilities subsections, within this Community Facilities Plan section, describe how the community support systems and utilities for Specific Plan No. 2 would be provided. The responsibility for construction, the funding mechanism (for both construction and on-going maintenance), the administrating agency ultimately responsible for governing each system or service, and the phasing of the construction/installation are defined. A detailed discussion of the proposed project's impacts on public services and public facilities and measures to mitigate the impacts are provided in the EIR. Mitigation measures are also included in the Mitigation Monitoring Program bound separately.

7.1 Public Services

7.1.1 Schools

A. Description

The Moorpark Unified School District has identified that most of the schools within the District are presently at capacity, and relocatable classrooms are being used to adequately house students. The names and locations of all the schools which may serve the site are listed below:

- Campus Canyon, K-3, at capacity, student enrollment 635, approximately 3.7 miles.
- Mountain Meadows, K-2, at capacity, student enrollment 716, approximately 3.0 miles.
- Flory School, 4-5, at capacity, student enrollment 625, approximately 2 miles.
- Arroyo West, 3-5, at capacity, student enrollment 736, approximately 4 miles.
- Chaparral Middle School, 6-8 at capacity, student enrollment 651, approximately 2 miles.
- Moorpark High School, 9-12, capacity for 1,900 students, enrollment 1,524, approximately 2.0 miles.

(The distance to Specific Plan No. 2 is based from the intersection of Charles Street and Spring Road.)

The new Walnut Canyon Elementary School on Casey Road is less than one mile from the planned Spring Road extension and Walnut Canyon Road intersection, and would also serve the Specific Plan No. 2 site. The grade levels and capacity for the new Walnut Canyon Elementary School are K-5 and 550 students respectively. It is estimated that the school will be at capacity with the projected enrollment for the 1999-2000 school year.

In order to help mitigate existing deficiencies within the Moorpark Unified School District and to provide for projected student demands at Specific Plan No. 2, a 22.0 acre school site is proposed to allow for future construction of a middle school. The school site is adjacent to a neighborhood park site to encourage joint use of facilities. Additionally, the school site is centrally located within the proposed development area of Specific Plan No. 2, as shown on the Land Use Plan, Exhibit 4.

B. Governance

Public education services within the Specific Plan would be provided by the Moorpark Unified School District. Ultimate acceptance of responsibility would be according to applicable laws and regulations.

C. Financing

Financing for school facilities would be provided through Moorpark Unified School District adopted school development fees, which are currently based on habitable residential square footage. The school development fees are required to be paid prior to or concurrently with the issuance of a building permit for a residential unit. The amount of the school development fees and dedication of the school site within the Specific Plan area could be established pursuant to the terms of a separate agreement between the Moorpark Unified School District and the Project Applicant.

D. Phasing

The timing of construction of a school within the Specific Plan No. 2 area would be determined by the Moorpark Unified School District. The decision to construct a new school within the Specific Plan No. 2 area is expected to be based upon the number of students actually residing within Specific Plan No. 2 and the number of residential building permits issued, as well as the capacity situation for other schools in the District. Any change to the school site location, size, or intended use within Specific Plan No. 2 should require that a Specific Plan amendment be approved to document the change to the school site, prior to City approval of any further Residential Planned Development Permit or tentative subdivision map for the Specific Plan area (reference mitigation measures bound separately).

7.1.2 Parks & Recreation

A. Description

An important guiding principal of the Land Use Plan is to provide large, contiguous, useable open space areas and a neighborhood park site. Specific Plan No. 2 includes 169.0 acres of open space and an 7.0-acre neighborhood park site, as shown on the Land Use Plan (Exhibit 4). The City has established requirements for public parks in the City's Subdivision Ordinance, pursuant to Section 66477 of the California Government Code, commonly known as the Quimby Act. The City of Moorpark Subdivision Ordinance requires park dedication or payment of an in-lieu fee, based on 5 net acres of park land for each 1,000 persons. The amount of additional population expected is determined by multiplying the number of new dwelling units proposed by the number of persons (3.13) anticipated to reside within each new dwelling unit (as specified in the Subdivision Ordinance). With 468 single-family units and 130 multi-family units proposed for Specific Plan No. 2, a dedication of approximately 9.3 acres of parkland would be required. A 7-acre park site is shown on the land use plan. The City could elect to accept the proposed 7.0-acre park site, with the 2.3 acre difference to be paid through in-lieu fees to meet the total dedication requirement of 9.3 acres. In addition to the fee to be paid in lieu of land dedication, the subdivider is also required by the Subdivision Ordinance to pay an amount equal to 20 percent of the in-lieu fee to provide park infrastructure improvements (curbs, gutters, sidewalks, drainage

facilities, fencing, street lighting, stop lights, street signs, matching pavement and street trees to full City requirements), stub-in of all requested utility line services to the park, and initial on-site grading that is required to develop the park.

The City of Moorpark Open Space, Conservation, and Recreation (OSCAR) Element defines a neighborhood park as consisting of from 2.5 to 16 acres, and it encourages its location adjacent to school sites. Based on other existing neighborhood parks in the City, the minimum features to be provided in a neighborhood park should include a baseball diamond, open turf for soccer, touch football, or other field games, tot-lots, basketball court, covered and uncovered picnic facilities with barbecue features, open space for informal play, restrooms and parking areas, and may also include tennis courts. The neighborhood park site within Specific Plan No. 2 is located adjacent to a planned school site, and is sized and should be graded to accommodate the typical neighborhood park features .

B. Governance

The proposed park site, Planning Area 6 of Specific Plan No. 2, if developed as a public park site, would be owned by the City and maintained by either the City or an Assessment District. If the City accepts an in-lieu park fee or accepts only a portion of Planning Area 6 for public park purposes, the area not accepted for public park purposes could be developed as a private recreation area and would then be owned and maintained by a homeowners association.

C. Financing

The Project Applicant should provide an irrevocable offer of dedication for the park site on the Final Tract Map, or if the City Council declines to accept the park site, in lieu fees shall be paid on a prorata prior to recordation of any phase of a Final Tract Map for the Plan No. 2 area, consistent with provisions of Ordinance 6 of the Moorpark Municipal Code as amended, and the City's Subdivision Ordinance requirements and any development agreement between the Project Applicant and the City.

D. Phasing

If the City accepts dedication of the park site, the timing of construction would be dependent upon the City's ability to fund full construction costs and maintenance, or the City could enter into a development agreement with the Project Applicant that would obligate the Project Applicant to construct the park improvements in conjunction with a specified phase of development.

7.1.3 Fire Protection

A. Description

As with many of the upland areas of Ventura County, the Specific Plan area is characterized by large undeveloped expanses of hillside landscape, containing natural and disturbed vegetation, both of which are flammable due to the seasonal nature of the flora. This, when combined with the County's Mediterranean climate with wet winters and dry summers, makes the area susceptible to wildfires. Although the County is subject to a wide range of fire hazards throughout the year, the late summer and autumn months are typically the most hazardous because the precipitation cycle is the driest at this time, and the easterly (or Santa Ana) winds prevail during these months as well. The Ventura County fire hazard zone extends into all areas where native brush can be found growing in pure natural stands. This is most commonly found on undeveloped hillside areas. While the majority of the Specific Plan area has been grazed in the past, which has reduced the amount of flammable material available to fires, much of the Specific Plan contains steep slopes which constitute a potential fire hazard regardless of the vegetative cover.

Specific Plan No. 2 is within the Ventura County Fire Protection District, which would provide service for the project. The City contracts with the District for fire protection services. The closest fire station (Ventura County Station No. 42) serving the Specific Plan area is located in the central portion of the City of Moorpark at Charles Street and Moorpark Avenue (State Route 23) across from the Moorpark City Hall. The station is approximately 1 mile from the project. Fire prevention measures have been incorporated in the Design Guidelines. Additionally, fire prevention requirements are specified in the mitigation measures included in the EIR and Mitigation Monitoring Program. The mitigation measures would be imposed as conditions of approval for development projects.

B. Governance

Fire prevention and suppression services would be provided within the Specific Plan No. 2 area by the Ventura County Fire Protection District. Ultimate acceptance of responsibility would be according to applicable laws and regulations.

C. Financing

Financing for fire protection facilities would be provided through payment of the adopted Fire Protection Facilities Fee prior to or concurrently with the issuance of a building permit for residential and non-residential development. The City collects and then forwards the fee revenue to the Ventura County Fire Protection District for fire station construction purposes.

D. Phasing

The Ventura Fire Protection District has identified that a fire station site is not required within the Specific Plan No. 2 area. The City Council adopted Fire Protection Facilities Fee would be paid prior to or concurrently with the issuance of a building permit for residential and non-residential development.

7.1.4 Police Protection

A. Description

Police protection for Specific Plan No. 2 would be provided by the Ventura County Sheriffs Department, under contract to the City of Moorpark. Specific Plan No. 2 would be served by the Moorpark Station, located at 26 Flory Avenue, and the East County Station, located at 2101 East Olsen Road in Thousand Oaks. These facilities are located approximately ½ mile and 5 miles away respectively. The Moorpark Station provides traffic and investigative services. Administrative support staff are also located at the Moorpark Station. In addition to patrol services, the East County Station has a booking and branch jail facility and vehicle maintenance section. It is possible that Specific Plan No. 2 could generate the need for additional personnel within the Sheriffs Department. Refer to Police mitigation measures included in the EIR and Mitigation Monitoring Program. The mitigation measures will be imposed as conditions of approval for the development projects.

B. Governance

The City of Moorpark contracts with the County of Ventura Sheriff's Department for the provision of police services, including facilities and staffing.

C. Financing

The City Council adopted Police Facilities Fee would be paid prior to or concurrently with the issuance of a building permit for residential and non-residential development. Police staffing is funded by the City, primarily using property tax revenue.

D. Phasing

A sheriff's station is not proposed to be located within the Specific Plan No. 2 area. The City Council adopted Police Facilities Fee would be paid prior to or concurrently with the issuance of a building permit for residential and non-residential development.

7.1.5 Solid Waste

A. Description

Ventura County is divided into four watershed areas for purposes of solid waste management and distribution: the western, eastern, northern, and central watersheds. The Specific Plan No. 2 area is located in the eastern watershed of Ventura County, and would use the Simi Valley landfill for disposal of non-hazardous solid waste generated by Specific Plan No. 2.

The Simi Valley landfill is owned and operated by Waste Management Inc. The landfill is located approximately 6 miles from the Specific Plan area, north of the 118 freeway, between Alamos Canyon and Madera Road, in the City of Simi Valley. As of late 1991, the available capacity of the landfill was approximately 12.6 million tons, based on the approval of a landfill expansion in 1989. The average daily disposal rate is approximately 750-800 tons. The landfill has a permit maximum daily tonnage of 3,000 tons. Refer to solid waste reduction mitigation measures included in the EIR and Mitigation Monitoring Program. The mitigation measures will be imposed as conditions of approval for the development.

B. Governance

The City Municipal Code requires that the collection, transportation and disposal of solid waste be controlled and regulated by the City, and the City provides for the weekly collection, transportation and disposal of solid waste generated on private property in the City. Every commercial and residential occupancy is required to contract for solid waste collection service, and the City establishes the collection fee by resolution of the City Council. The City has franchise agreements with residential and commercial waste haulers, and recycling collection is performed by these waste haulers, in conformance with the City's recycling program. Solid waste reduction mitigation measures are identified in the EIR and Mitigation Monitoring Program.

C. Financing

Pursuant to the City Municipal Code, every commercial and residential occupancy is required to contract for solid waste collection service, and the City has franchise agreements with residential and commercial waste haulers for the exclusive collection, transportation, and disposal of solid waste. The City establishes the solid waste collection fee through the franchise agreements and by resolution of the City Council.

D. Phasing

Solid waste reduction measures shall be incorporated into development consistent with the mitigation measures included in the EIR and Mitigation Monitoring Program.

7.2 Public Facilities

7.2.1 Utilities

A. Description

The utilities for Specific Plan No. 2 include electric lines, gas lines, phone, and cable lines. An investigation of facilities was done with each utility purveyor. The purveyors identified below foresee no problems in providing service to the proposed project. The Specific Plan area where development is planned is relatively free of any utility improvements; therefore, a major relocation of existing on-site facilities is not expected as a consequence of development. The services identified below should all be placed underground. The following is a brief description of the utilities required for Specific Plan No. 2.

1. Electricity

Southern California Edison would provide electricity services to the site. Electricity would be provided by a 16 KV power line extended from the Moorpark Substation. Connection to this power line would be approximately 1,000 feet from Specific Plan No. 2.

2. Natural Gas

The Southern California Gas Company would provide gas services to the site. There is an existing 6-inch high pressure main in Walnut Canyon Road, served through a pressure regulating station. Connections would be made to this location.

3. Telephone

Pacific Bell would provide telephone service to the site. An underground distribution system serves the area to the east and operates at 50 percent of total capacity. A new system would need to be constructed to provide service to Specific Plan No. 2.

4. Cable Television

A City approved franchise is required to operate a cable television (TV) system in the City, and Section 5.06 of the City Municipal Code that any franchise granted be nonexclusive. If a new cable franchise is proposed for the Specific Plan No. 2 area, Section 5.06 requires that, in considering an application for a new cable franchise, the City Council may give due consideration to the quality of the service proposed, income to the City, experience, character, technical and financial responsibility of the Project Applicant, and any other considerations deemed pertinent by the Council for safeguarding the interests of the City and public.

5. Off-Site Utility Improvements

Off-site grading/construction of a separate underground telephone distribution system is required. Additionally, electric, natural gas, telephone and cable TV off-site lines, as referenced above, are required to provide service to the Specific Plan No. 2 property.

B. Governance

The governance of utility service within Specific Plan No. 2 would be the responsibility of the following companies and the City of Moorpark:

Electricity:	Southern California Edison
Natural Gas:	Southern California Gas Company
Telephone:	Pacific Bell
Cable TV:	Private franchise authorized by the City of Moorpark

C. Financing

The Project Applicant would be responsible for the financing and construction of the utilities improvements necessary to support the approved development.

D. Phasing

Utilities would be built concurrently with the project circulation system within the appropriate development phase. Notwithstanding the previous sentence, the completion of the utilities in one development phase would typically not be a prerequisite to beginning construction in another development phase.

7.2.2 Oil Wells

A. Description

Within the Specific Plan area, a total of five plugged, abandoned oil wells are located on site. Of the five plugged, abandoned oil wells located within the northern portion of the site, only one well produced oil between 1955 and 1976, and that abandoned well was plugged and abandoned in 1988 under the supervision of the California Department of Conservation, and is located within Planning Area 9, a 39.7 acre residential planning area. Setback standards are required by the Department of Conservation, Division of Oil, Gas, and Geothermal Resources, to be incorporated for new development to be located in the proximity of previously plugged and abandoned oil wells that were at one time producing wells (reference Section 9 of this Specific Plan for setback requirements).

The four remaining known, plugged, and abandoned oil wells have no history of produced oil and are not subject to the setback requirements; however, the Division of Oil, Gas, and Geothermal Resources has established requirements that would need to be complied with if any structure is to be located over or in the proximity of previously plugged or abandoned wells. Furthermore, if any plugged, abandoned, or unrecorded wells are damaged or uncovered during excavation or grading, remedial plugging operations may be required, consistent with the requirements of the Division of Oil, Gas, and Geothermal Resources. Mitigation measures have been proposed to ensure that the State requirements are complied with, as identified in the Mitigation Monitoring Program bound separately. The mitigation measures shall be imposed as conditions of approval for future subdivision maps and permits for development within Specific Plan No. 2.

B. Governance

The City of Moorpark would administer the mandated requirements set by the Department of Conservation and any applicable Moorpark Municipal Code, Specific Plan, and EIR mitigation measure requirements related to capped, abandoned oil wells.

C. Financing

The Project Applicant shall be financially responsible for ensuring that all abandoned oil well requirements are met during construction.

D. Phasing

All capped, abandoned oil wells shall be mapped on all grading plans prepared for Specific Plan No. 2 development, and all subdivision maps and planned development or conditional use permits shall incorporate required setbacks (reference Section 9 and the mitigation measures in the Mitigation Monitoring Program bound separately).

8.0 DESIGN GUIDELINES

8.1 Design Philosophy

The proposed project for Specific Plan No. 2 is located on 445 acres just north of the Moorpark downtown area and serves as a transition from the historical roots of Moorpark to the new growth patterns occurring to the north. The development will encompass a diversity of land uses unified through thoughtful planning for the future. Specific Plan No. 2 Master Plan has been guided by a number of principles which are intended to reflect the surrounding community's character and priorities. Design Guidelines will ensure that Specific Plan No. 2 built environment reflects the vision embodied in the following concepts:

- Develop a community that is visually attractive, as a result of an open space driven approach to sensitive areas preservation, capturing the essence of the natural resources of the site.
- Through designing in concert with the land, provide more open space than is typically available in nearby developments, providing a variety of open space uses (active and passive).
- Design a planned community which complements existing development within the City of Moorpark, and is also compatible with the surrounding natural environment.
- Establish low densities overall, with clustering of development, to minimize the potential impact on adjacent properties.
- Recognize the unique nature of Specific Plan No. 2 as a community that meets the needs of future residents for living areas, educational facilities, and areas for the pursuit of leisure time activities, within the larger community of Moorpark.
- Develop a high quality, cohesive design concept to create a strong community design image for Specific Plan No. 2. It is this strong community image that will set this master-planned community apart from more conventional subdivisions within the area.
- Establish development standards that ensure lasting value for the residential neighborhoods and activity centers.
- Provide a range of housing types and styles to meet the varied housing needs within the community.
- Provide for Private Recreation Facilities in areas designated as RPD-SF with a minimum lot size below 7,000 square feet.

Specific Plan No. 2 Land Use Plan has been developed with a vision for superior design to create a community that will endure long into the future. The Master Plan incorporates land uses which relate to modern needs, while retaining the considerable assets of the existing environment. In pursuit of this vision, the proposed Specific Plan No. 2 has been designed to correspond with the natural landscape, establishing a sense of harmony with the project's surroundings. The community will foster a relationship with the history of the valley, building on its agricultural, ranching, and mission heritage. Other traditional architectural styles found in the region will be drawn upon to enrich the community character. This respect for the region will create a feeling of timelessness for the community and a sense of belonging for area residents.

Specific Plan No. 2 will encompass a diversity of land uses, including a range of housing types, a public school, recreational facilities, a 7.0-acre neighborhood park and approximately 169.0 acres of open space.

The entire community will be woven together through a network of open space corridors, trails, and community roadways providing linkages between community facilities, neighborhoods, the park and school, private open space, and the adjacent regional open space amenities. The character established for these facilities will define the overall character of Specific Plan No. 2.

These ideas are illustrated on Exhibit 18 Open Space/Parks and Recreation Plan.

8.2 Purpose of Design Guidelines

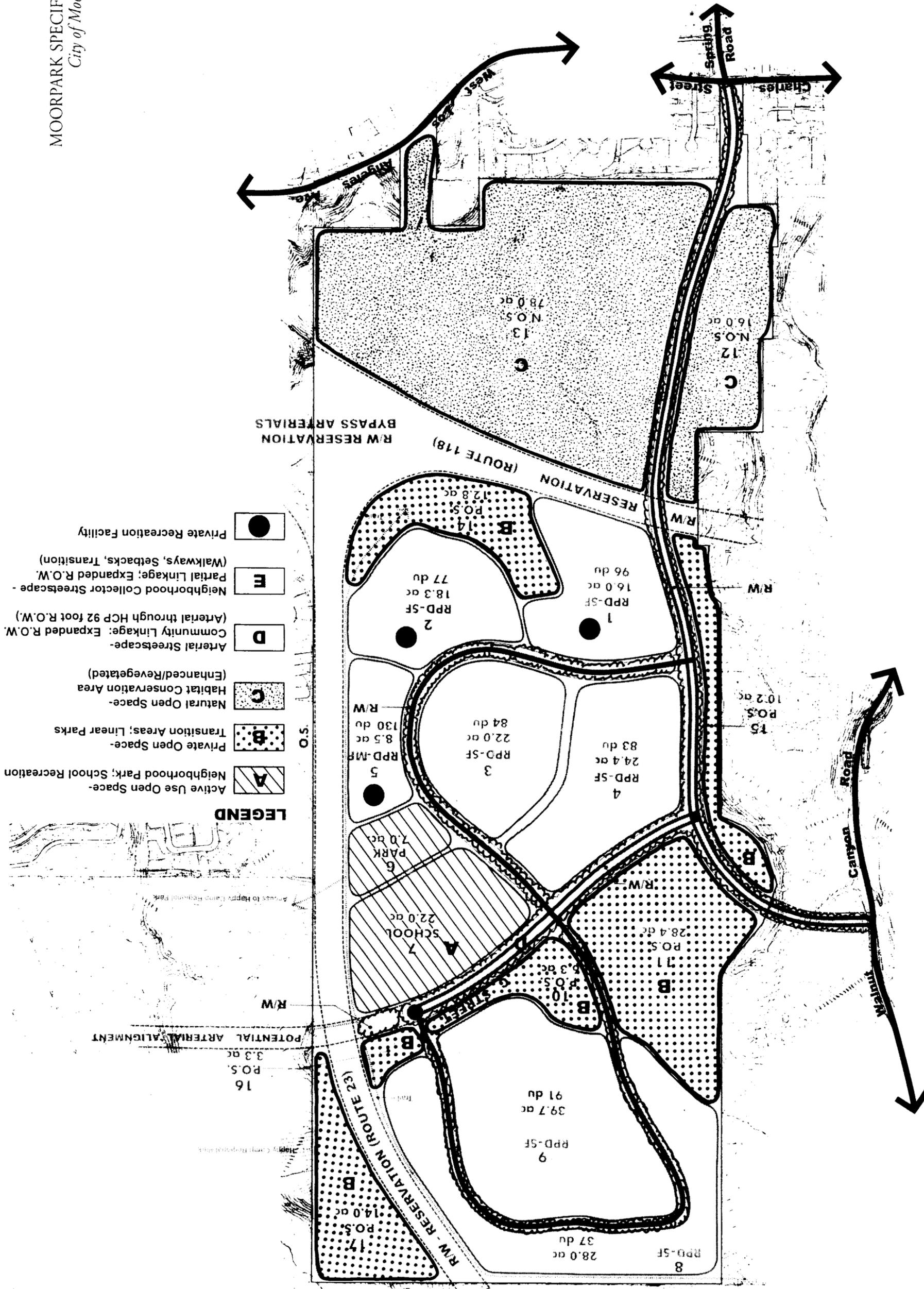
Design control will be accomplished through the coordinated application of appropriate planning, architectural, and landscape elements. The guidelines are founded upon the following goals:

- Establish a high quality appearance for the development.
- Ensure continuity within the overall community elements.
- Direct the quality and compatibility of the homes while allowing variety within the Planning Areas.
- Enhance the community's overall value.
- Remain flexible to respond to evolving conditions, including changes in lifestyles, buyer tastes, economic conditions, community desires, and the marketplace.

The Design Guidelines have been prepared specifically to assist and guide the City of Moorpark by supplying answers to the frequently raised questions that may arise during the planning and construction phases of residential development. The Design Guidelines address a wide variety of design components which collectively contribute to the goal of achieving the community character for Specific Plan No. 2.

Each design component establishes a broad framework providing a full range of design opportunities and creativity. The common thread to each component is the desire to maintain design excellence.

To ensure implementation of the Design Guidelines presented here, proposed improvements to residential sites shall be reviewed and approved by the approving authority of the City of Moorpark through a review of future RPD's and/or CUP's. Prior to the filing of future RPD's, a Design Manual will be presented to the City for review and approval.



LEGEND

	Active Use Open Space - Neighborhood Park; School Recreation
	Private Open Space - Transition Areas; Linear Parks
	Natural Open Space - Habitat Conservation Area (Enhanced/Revegetated)
	Arterial Streetscape - Community Linkage; Expanded R.O.W. (Arterial through HCP 92 foot R.O.W.)
	Neighborhood Collector Streetscape - Partial Linkage; Expanded R.O.W. (Walkways, Setbacks, Transition)
	Private Recreation Facility

SCALE 1" = 600'

All Specific Plan No. 2 development projects, including but not limited to Residential Planned Development Permits, and Conditional use Permits, shall be evaluated for consistency with the Specific Plan No. 2 Design Guidelines. These Design Guidelines do not supersede any Federal, State, or City of Moorpark statutes and ordinances which shall otherwise pertain to the development of Specific Plan No. 2.

8.3 Community Character

The setting for Specific Plan No. 2 provides a unique opportunity to create an image reflecting the natural character of the land. This character will be captured through carefully integrating the natural assets of the landscape; such as the arroyos and the sensitive natural areas, into the community design. The character of Specific Plan No. 2 will draw from these assets and will also be founded upon the heritage of the historical aspects of the surrounding region. The theme is meant to be a simple, yet bold statement.

The community character will be expressed through the combination of thematic elements established for the open space components of Specific Plan No. 2; the landscape architecture utilized for arterial and collector pathways, and compatible designs for main community entryways, community walls and fencing. These components will work in concert to create an overall image for Specific Plan No. 2.

By allowing a range of styles within the overall image, monotony and repetitiveness will be avoided. This variety will accommodate a multiplicity of lifestyles and market desires, creating a rich fabric to the community character.

8.3.1 Landscape Concept

Specific Plan No. 2 landscape concept will establish the community theme by unifying the various elements which comprise this community. The landscape concept includes the use of drought tolerant and indigenous, naturalized plant material. Theme walls, fences, monumentation, signage, parkways, and open space areas will begin at Specific Plan No. 2 entries and continue throughout the entire community on the arterial and collector system. This provides aesthetic continuity throughout Specific Plan No. 2.

The landscape theme for Specific Plan No. 2 has been drawn from the historical aspects of the surrounding region reminiscent of early California. The landscape theme is also intended to draw upon the site's natural setting. The street tree themes will provide the basic framework within the overall community areas. The riparian plant community found in the arroyos will be utilized or reintroduced to accentuate this unique environment. Other historic and indigenous plant materials will add richness and variety to the landscape.

Careful attention has been given to the types of plant material to be used within Specific Plan No. 2. The primary goal is to incorporate species that are already well established in the Moorpark area, including a variety of traditional trees and shrubs historically found in the area. In addition, species will be used that have naturalized to this specific region, along with a vast array of native plant material which has been proven to thrive in this area. By combining these types of plant materials, as well as by introducing new varieties of plant material used historically throughout this region, Specific Plan No. 2 will be assimilated into its natural setting.

The proposed plant species have been carefully evaluated with respect to compatibility with soils, the local micro and macro climates, and their ability to merge into the existing community and natural environment.

The landscape concept for Specific Plan No. 2 is defined herein by zone and is shown on the Conceptual Landscape Plan, Exhibit 19. These zones are linked together by landscaped corridors along primary roadways and in the open space areas. The Master Plant List is shown at the end of this section as Table A. The proposed plant palette will allow for the creation of a wide variety of color, texture, size, and plant characteristics. Conceptual landscape treatments for the various zones within Specific Plan No. 2 are described in greater detail in the following zone-by-zone definitions.

A. Arterials

The arterials (Spring Road, "C" Street) that traverse the Specific Plan No. 2 site create an opportunity to design a landscape system unifying the elements of this community. The arterials are planned as a four-lane parkway with a center median as shown on Exhibit 11A and 11C. With the exception of the arterial portion extending through the HCP area, the arterials will serve as a major design theme parkway connecting open space/recreation areas and defining the overall character of Specific Plan No. 2. The parkway shall contain walkways and landscaping along the street edge. The roadway cross section shall have a median, parkway plantings along either side, and a detached sidewalk on the east and west sides. A Class I bike lane is planned on the east side and a Class II bike lane is planned on the west side along Spring Road. A separated equestrian trail is also provided as a part of the multi-use trail adjacent to portions of the arterial (see Exhibit 12). Where the Multi-Use trail crosses arterial roadways, signage shall be provided to allow for horse crossing.

The portion of the north/south arterial which extends through the HCP area shall be designed to reduce impacts to the habitat. The roadway cross-section shall have a reduced median and parkway. A Class I (east side) and a Class II (west side) bike lanes are planned to extend through the area.

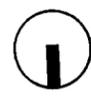
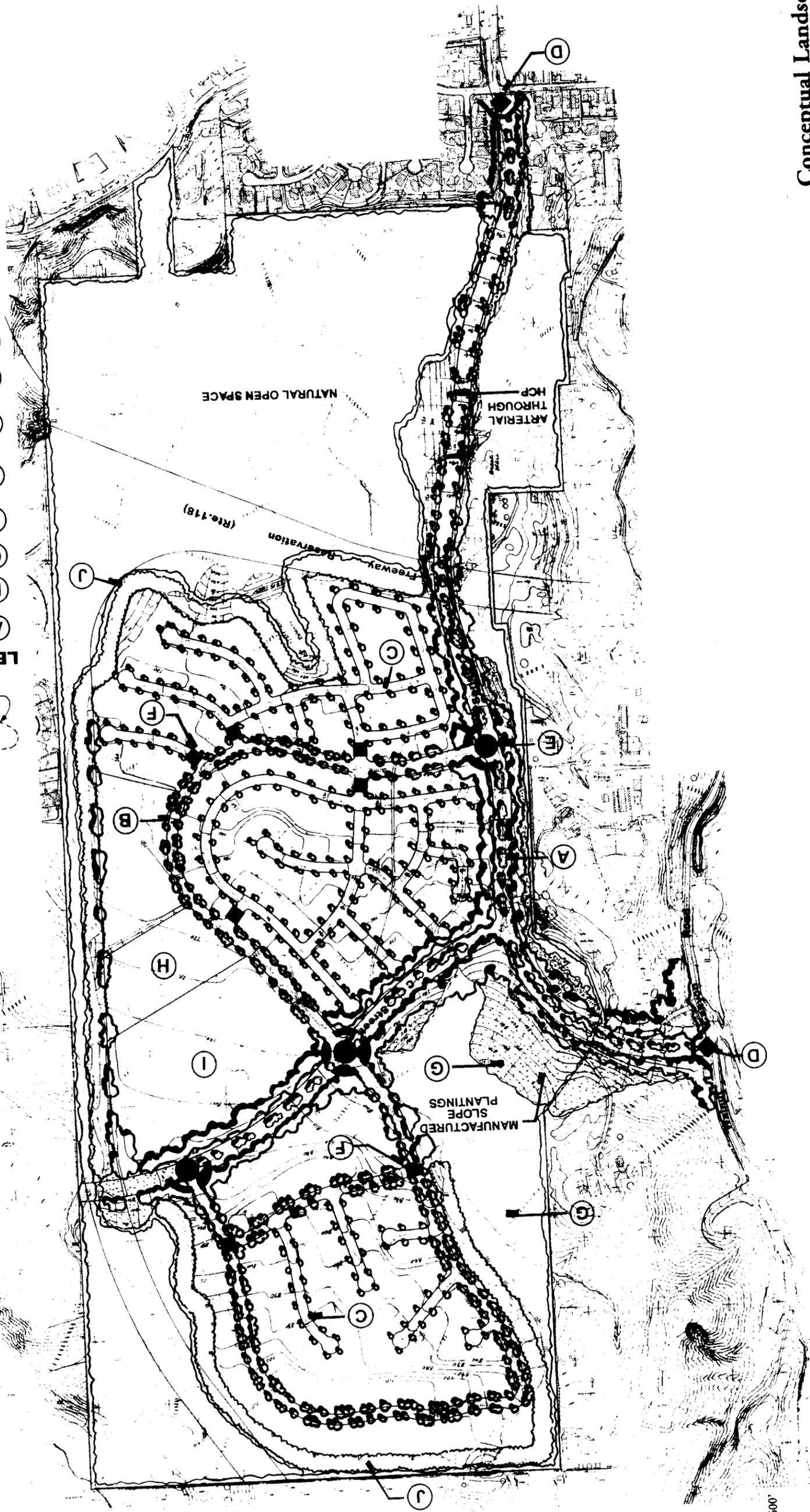
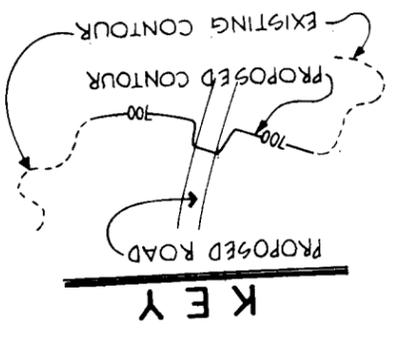
By incorporating a combination of tall, vertical trees and large, canopy trees in landscaped areas, a park-like setting will be created. The primary trees planted here will include Pine, Cedar, and Oaks (reference Table A, plant list).

Strategically placed plant material will be used to frame the views to the adjacent hillsides and natural arroyos. The arterials will be similar to the more established parkways, reminiscent of the more intimate California communities of the past.

The tree planting within the arterials will reflect the existing character of the northern corridor through Moorpark, as well as accentuate it with the use of larger sized trees. These species will be predominantly evergreen (80 percent) and partially deciduous (20 percent). A random, naturalized pattern is intended to be used along the edges of the arterial, while the parkways and median plantings will be more formal and organized. Where arterials directly abut natural open space, plant materials which are compatible with the existing native vegetation will be utilized. These transition areas will provide continuity between the proposed development and the existing ecosystem.

Views toward the natural open space areas will be through distinct and randomly spaced 'windows' in the tree groupings along the arterials.

- LEGEND**
- (A) ARTERIAL ROADWAYS
 - (B) COLLECTOR ROADWAYS
 - (C) RESIDENTIAL STREETS
 - (D) COMMUNITY ENTRY FEATURES
 - (E) NEIGHBORHOOD ENTRY FEATURES
 - (F) INDIVIDUAL PROJECT ENTRY FEATURES
 - (G) PRIVATE OPEN SPACE AREAS
 - (H) PARK
 - (I) PUBLIC INSTITUTIONAL (SCHOOL)
 - (J) FUEL MODIFICATION ZONE



SCALE 1" = 600'

B. Collector Roadways

The collectors will embody similar characteristics as the arterial, with slight scale and material modifications. Functioning as the roadways which direct traffic directly to the entries of individual residential projects, each collector will take on its own distinct characteristic. Utilizing a strong street tree theme will create opportunities for each phase to take on its own design character.

Although the scale of the street trees along the collector road will be smaller than the arterials, collectors shall still be planted with species with strong canopies. The tree planting patterns will be more formalized and linear, transitioning to random plantings in the landscape setback zones (see Exhibit 12B). Major tree species could include Camphors and Sycamores (reference Table A). Where the Multi-Use trail crosses collector roadways, horse crossing signage shall be provided.

C. Residential Streets

Residential streets will also strengthen the overall community landscape theme by incorporating tree species which add color and texture to the street scene. Tree species could include Chinese Flame Tree, Crape Myrtle and Magnolia (reference Table A). The actual placement of the trees will be orderly and structured, controlled by setbacks from street and sidewalk edges, as well as on-center spacing. The final landscape and irrigation plans shall be approved by the Director of Community.

D. Community Entry Features

Two major entries into the community will be developed along with the arterials. Plan review of these entries shall occur during RPD-SF Permit Approval. These entries are located at Charles Street/ Spring Road, and Walnut Canyon Road/ Spring Road. These areas will provide an introduction to, and the first impression of, Specific Plan No. 2. Therefore, they shall be an important element of the overall landscape concept. Special plant material shall be used to denote each of these areas.

The community entries will incorporate the style, color and character of the community and the themed walls. A graphic depiction of a community entry is provided on Exhibit 20.

Large masses of colorful trees and shrubs will be used as accents to highlight these special areas along with a strong green backdrop of evergreen trees. The primary plant material utilized in these locations will include Pine, Oak, Cedar, Purple Orchid Tree, Weeping Bottle Brush, Crape Myrtle and Evergreen Pear (reference Table A).

E. Neighborhood Entry Features

The intersections of the collectors and the arterials provide an opportunity to integrate special design features which emphasize, and provide identity for, the neighborhood structure. Elements at these intersection points will include enhanced paving treatments, sculptural monumentation elements, integrated signage, special lighting designs and enhanced landscape treatments.

The entry designs will incorporate the style of the overall community themed wall system. The intersections will also incorporate enhanced landscape materials utilizing accent plant materials, seasonal flowering shrubs and perennials, and evergreen and flowering vertical trees.

F. Individual Project Entry Features

The Project Applicant should install Specific Plan No. 2 entry ways to identify and establish an image for individual projects. These entries should be used to designate different and definable product types and/or lot size categories and which consists of at least 25 units.

Individual Specific Plan No. 2 entries should incorporate featured landscape treatments, enhanced pavement details and Specific Plan No. 2 signage. Also, the use of controlled uplighting of trees and signs is encouraged. Review of the individual Specific Plan No. 2 entry features shall occur during RPD-SF Permit Approval for the Planning Area which contains the particular entry feature.

G. Private Open Space Areas

Open space areas will be developed to encourage pedestrian circulation throughout Specific Plan No. 2. Efforts will be made to preserve the natural character, incorporating native plant material whenever possible. State-of-the-art revegetation techniques will be used to restore and enhance the natural habitat for those areas impacted by grading. Primary plant material used here will include California Sycamore, Cottonwood, Alder and Oaks (reference Table A).

In those areas where remedial grading is necessary and slope gradients exceed 4:1, slope stabilization planting techniques and materials will be utilized to ensure proper erosion control and aesthetics.

Along the North and Northwestern Specific Plan No. 2 boundary, buffer landscape planting will provide a visual transition from the residential neighborhoods of Specific Plan No. 2 to the adjacent properties. Pines, Sycamores and Oaks will be the predominant tree species used in these areas.

H. Park

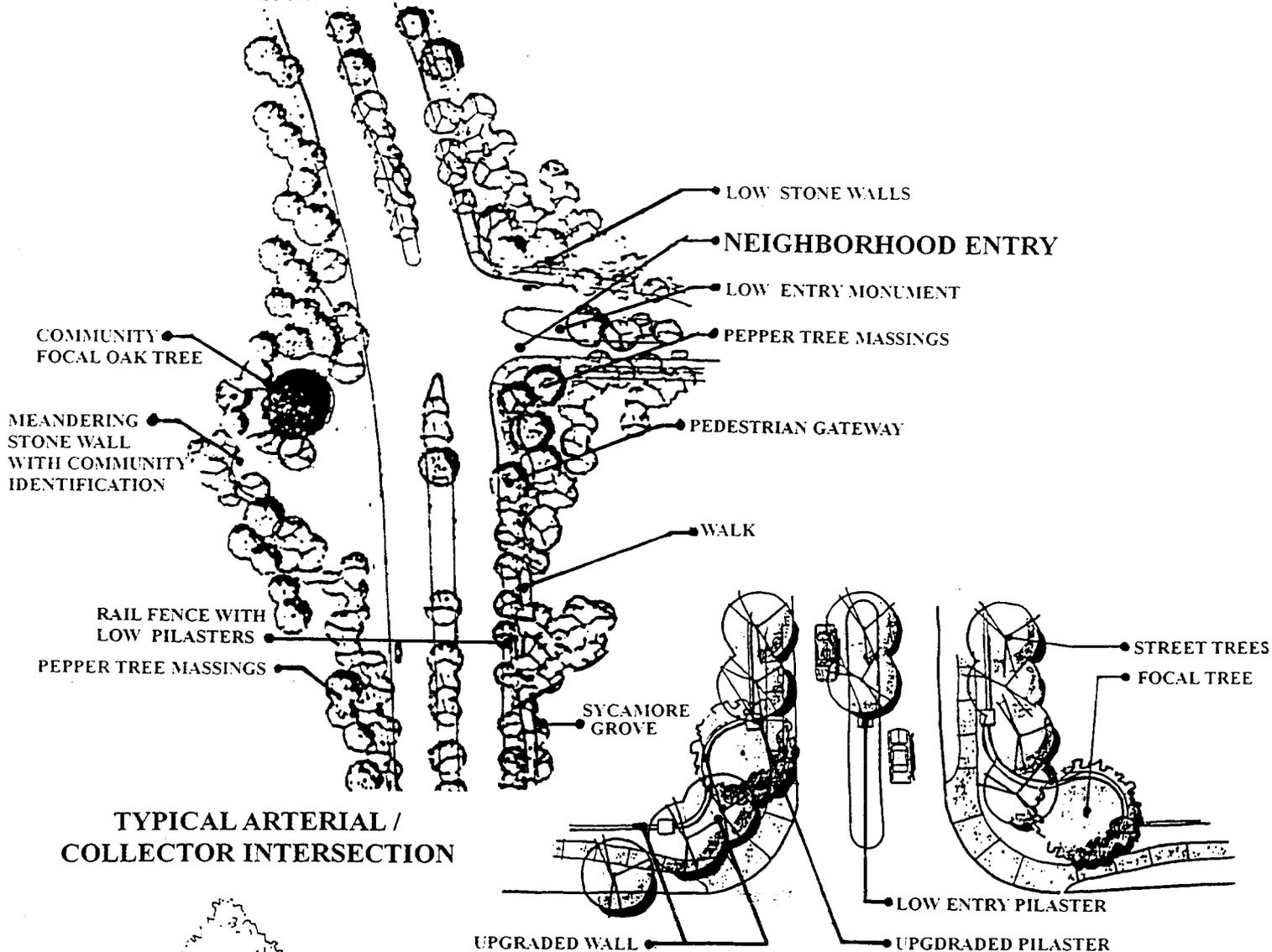
These active park facilities will play an important role in the overall open space system. The park facilities will be used by community residents as well as surrounding neighborhoods. Historical plant material such as Pines, Oaks, and Sycamores will be used to develop a singular character for the park (reference Table A).

Distinguishing, large-scaled plant material, integrated with the surrounding landscape character, will create strong community landmarks that develop character overtime as the plant material matures.

I. Public Institutional (School)

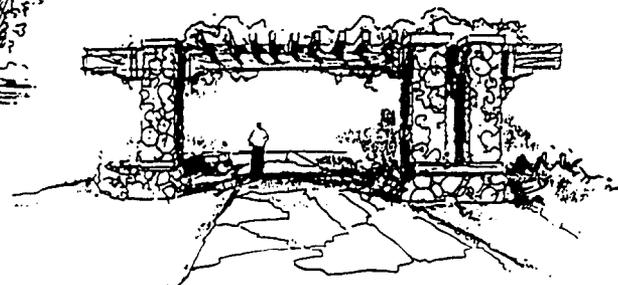
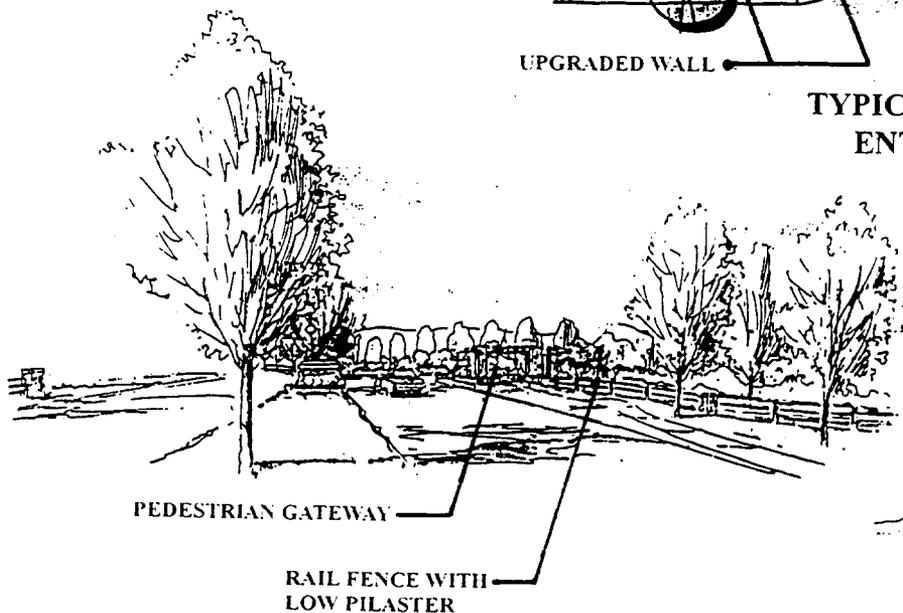
The 22.0-acre school site is planned to have adjacency to the proposed park site as well as surrounding residential neighborhoods. It is intended that these facilities will form a central activity district within the overall community plan.

SPRING ROAD



TYPICAL ARTERIAL / COLLECTOR INTERSECTION

TYPICAL COMMUNITY ENTRY FEATURE



TYPICAL ENTRY MONUMENT

The suggested plant material to be used on the school site will be similar to the park site, including Sycamores, Pines and Oaks (reference Table A). The actual selection of plant materials for a school will be determined by the Moorpark Unified School District.

8.3.2 Irrigation Guidelines

To promote low water use and improve plant survival rates, the following guidelines have been established to direct irrigation and planting techniques during Specific Plan No. 2 implementation:

- Choose plants adapted to existing on-site climatic conditions.
- Locate plants with similar water requirements together and consider their total cultivation needs in their placement.
- Use irrigation systems with the latest technology to ensure system efficiency.
- Utilize mulch to retain soil moisture.
- Use permeable paving material such as decomposed granite, where feasible, to allow the penetration of natural rainfall into the soil (i.e., common areas).
- Limit lawn areas. Place turf areas prudently where needed for sports activities, exercising, and sitting areas.
- Ensure compliance with the City of Moorpark requirements for low water usage contained in the City Municipal Code.
- Design grading to minimize runoff.

8.3.3 Sustainable Development Guidelines

The following Specific Plan No. 2 development guidelines will result in an improved landscape design:

- Utilize contour grading that is sensitive to the existing topography.
- Employ landform grading techniques, blending cuts with existing landforms.
- Protect existing native trees and landscape where possible.
- Revegetate disturbed natural areas.
- Recycle removed vegetation and top soil; use for revegetation and mulching.
- Maintain wildlife corridors wherever possible.

8.3.4 Urban Wildlife Interface / Fuel Modification Zones

To assist in reducing the incidence of destructive fires in the urban-wildland interface areas, the following guidelines consistent with the Ventura County Fire Protection District's Fire Hazard Reduction Program, have been established:

- Maintain no less than 100 feet clearance from all structures using surface measurements. Within the 100-foot clearance, mow or cut all brush, flammable vegetation, or combustible growth identified as a fire hazard to a stubble height not to exceed three (3) inches. Remove all cuttings from the property.
- Implement disking and rototilling methods to remove smaller types of vegetation. Till or disk the material into the soil in a manner to eliminate possible fire spread.
- Single specimens of trees, ornamental shrubbery or ground covers are permissible provided that they do not form a means of rapidly transmitting fire from the native growth to any structure. Space such specimens a minimum of 15 feet from other specimens, structures or surrounding native brush. Maintain all trees and shrubs free of deadwood and litter, and trim up 2 feet from the ground or 1/3 of the height, whichever is less.
- Ensure roof surfaces are maintained free of accumulations of leaves, needles, twigs, or any other combustible materials.
- Provide chimneys with a 10-foot clearance. Maintain trees so that no portion is closer than 10 feet.
- Maintain access roads with a minimum 10-foot clearance on each side of the traveled section. Trim trees and shrubs protruding over the access roadway to a minimum height of 13 feet 6 inches for emergency vehicles.
- Remove combustible roadside vegetation for a distance of 10 feet on each side of a traveled section of a roadway that is improved, designed, or normally used for vehicular traffic. Stubble height shall not exceed three (3) inches.
- Single specimens of trees, ornamental shrubbery or cultivated ground cover such as green grass, ivy, succulents, or similar plants used as ground covers are allowed to remain provided they do not form a means of readily transmitting fire.
- Utilize to the extent feasible fire resistive vegetation with the following characteristics:
 - Growth with little or no accumulation of dead vegetation – (either on the ground or standing upright)
 - Non-resinous plants – (willow, poplar or tulip trees)
 - Low volume of total vegetation – (for example, a grass area as opposed to a forest or shrub-covered land)
 - Plants with high live fuel moisture – (plants that contain a large amount of water in comparison to their dry weight)
 - Drought tolerant plants – (deeply rooted plants with thick heavy leaves)
 - Stands without ladder fuels – (plants without small fine branches and limbs between the ground and the canopy of overtopping shrubs and trees)
 - Plants requiring little maintenance – (slow growing plants which, when maintained, require little care)
 - Plants with woody stems and branches that require prolonged heating to ignite.
- Utilize various ground covers and sub-shrubs, shrubs and trees as identified in the Ventura County Fire Protection District's Fire Hazard Reduction Program within interface areas.

Three planting zones shall be established to ensure the successful integration of Specific Plan No. 2 with the adjacent natural environment. Each zone shall vary to accommodate the specific needs of the landscaped areas. The three zones include the Irrigated Zone, the Transition Zone, and the Native Zone. (See Fuel Modification Cross Section - Exhibit 21).

- A. **Irrigated Zone** - Zone "A" is the "irrigated zone" which will abut structures and roadways. This zone will allow for traditional planting and irrigation; however, drought tolerant and xeriscape landscapes will be emphasized.
- B. **Transition Zone** - Zone "B" is the "transition zone." This zone will be a transition area between the "irrigated zone" and the "native zone." Native plants will be used here. Permanent irrigation systems will be used only where necessary.
- C. **Native Zone** - The opportunity exists here to restore the ecosystem of native areas. This is a peripheral design solution; therefore, this zone will be located at the top of slopes, at the outermost parts of Specific Plan No. 2, and away from buildings and roadways.

The total fuel modification zone shall be a minimum of 100 feet wide (from the back of the building site to the outer edge of the zone), and subject to review and approval by the Ventura County Fire Protection District.

8.3.5 Walls and Fences

In addition to providing screening, sound attenuation, security, and containment, walls and fences located throughout Specific Plan No. 2 will serve as an important component of the community theme. The character of the walls and fences will be consistent with the overall Specific Plan No. 2 design theme. A consistent theme will be carried throughout the wall/fencing system; however, the materials will change somewhat, depending on the purpose and location of the wall. All walls shall be designed so as to minimize graffiti. Wall finishes and landscaping shall be used to deter graffiti. Exhibit 22 provides typicals of walls and fencing proposed within the Specific Plan.

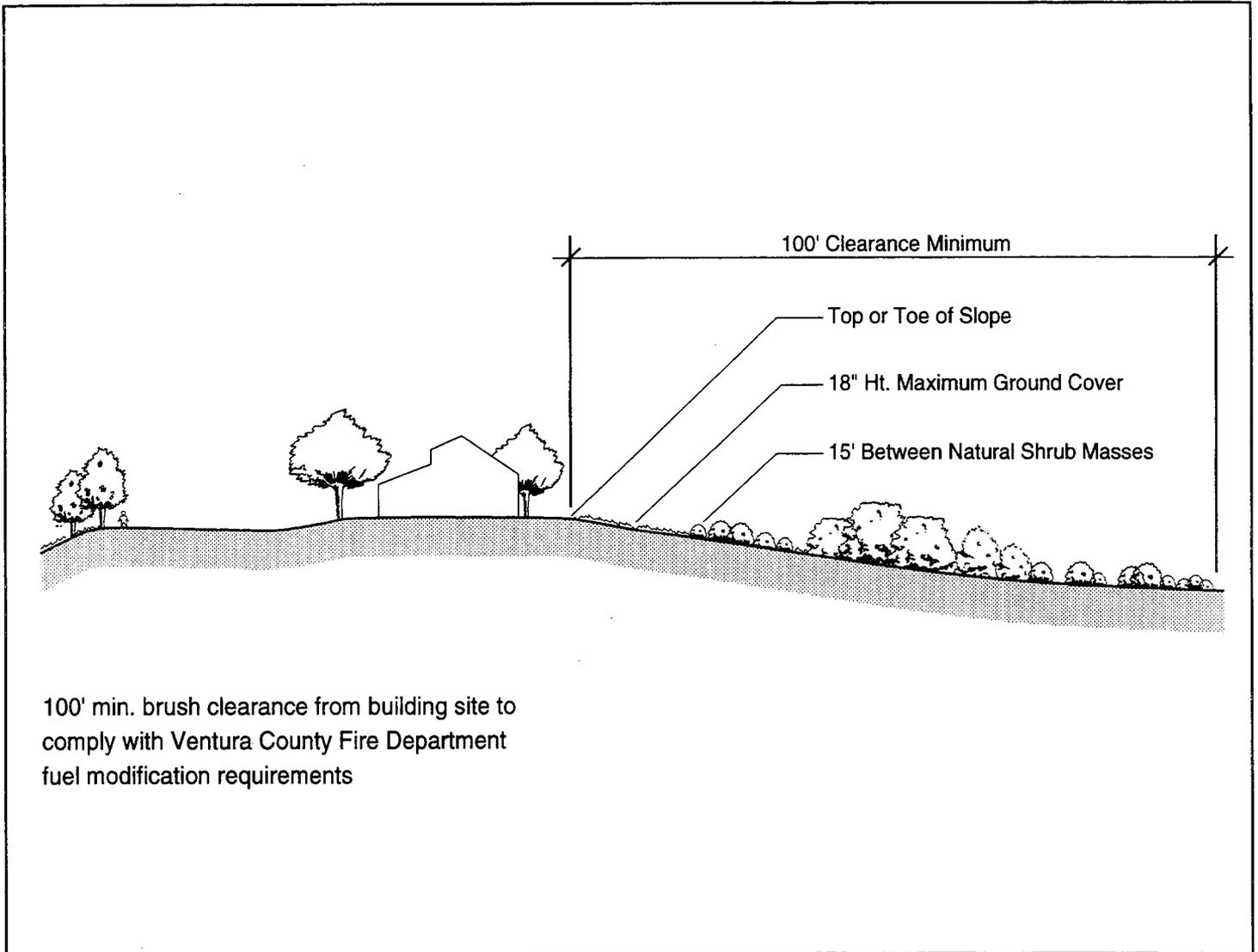
Community walls shall be located along the arterials only where residential parcels abut the roadway. These walls will be uniform in character and incorporate a variety of materials and siting techniques. All walls will be slump stone, pilasters, brick caps with a variety of finishes (stone/brick veneers).

View walls shall be located adjacent to private open space areas to allow for visual access to these areas. View walls will be designed to provide enclosure and/or security, yet allow views to be preserved. These walls will be made of a combination of stucco covered concrete block and wrought iron.

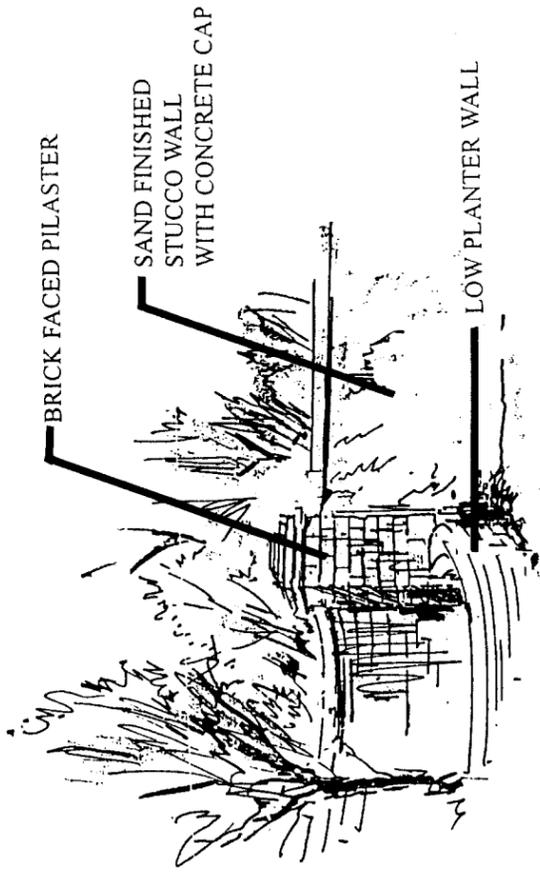
Equestrian fencing shall also be consistent with the rural nature of Specific Plan No. 2. The fencing shall be provided where a separate equestrian link is planned adjacent to the arterial right-of-way. This fencing will either be of wood or composite material with a wood-like finish.

The last type of wall relates to multi-family uses. Where multi-family uses are located along collectors, walls shall be provided to encompass only the patio areas. This will allow open space planned around multi-family areas to blend into the streetscape, rather than presenting a collector with a continuous wall edge. These walls shall be concrete block with a stucco finish.

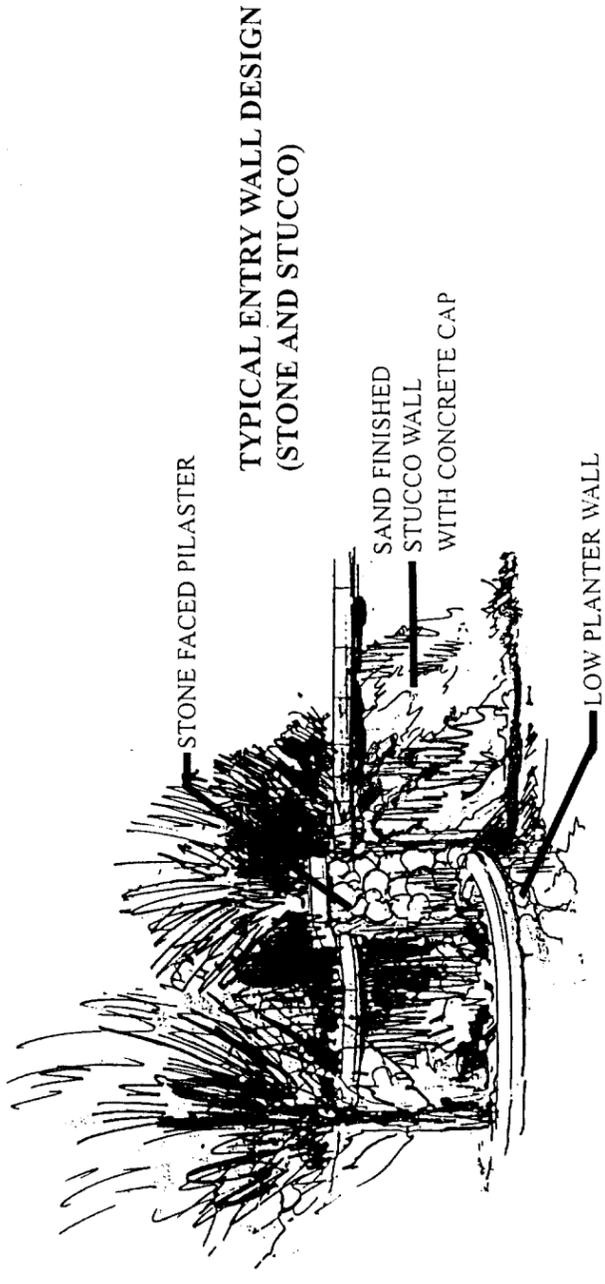
MOORPARK SPECIFIC PLAN NO. 2
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Not to Scale



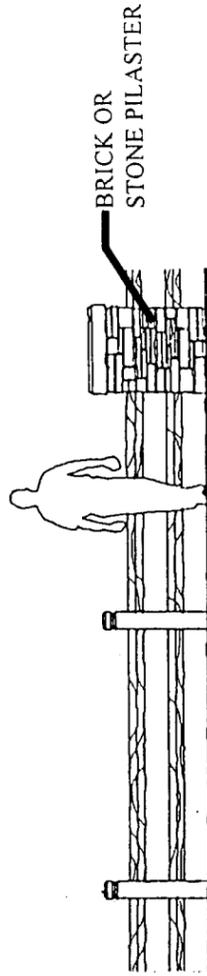
TYPICAL ENTRY WALL DESIGN
 (BRICK AND STUCCO)



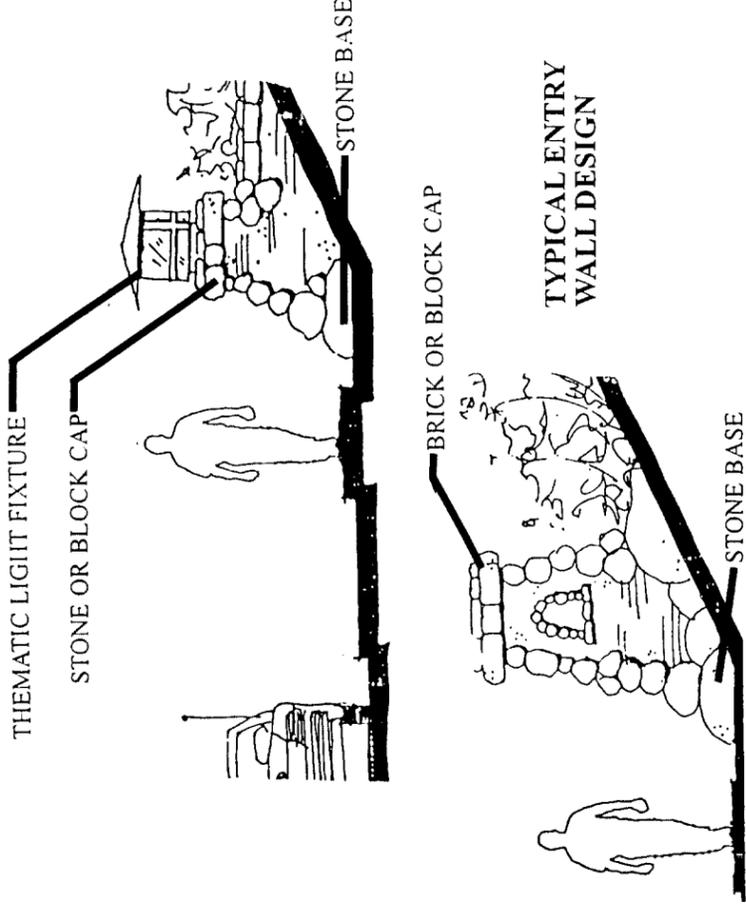
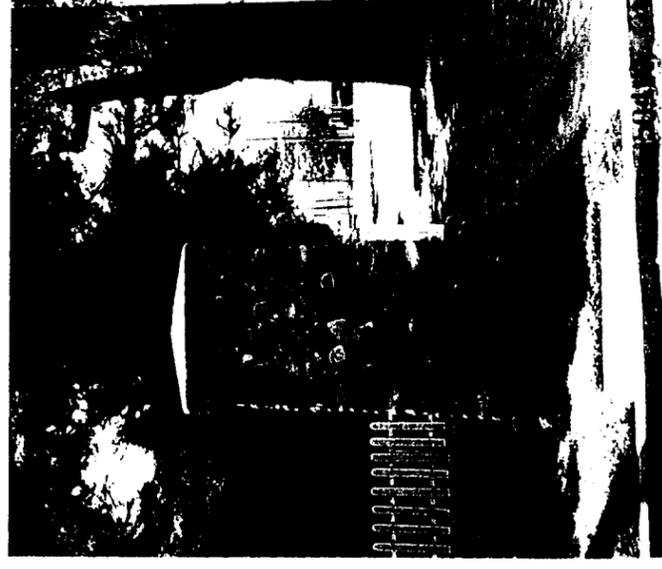
TYPICAL ENTRY WALL DESIGN
 (STONE AND STUCCO)



TYPICAL RAIL FENCE AT
 OPEN SPACE EDGES AND
 ALONG MULTI-USE TRAILS
 (Refer to HCP for Fencing of the
 Natural Open Space)



BRICK OR
 STONE PILASTER



TYPICAL ENTRY
 WALL DESIGN

8.3.6 Community Entrances

Community entry points provide an introduction to, and first impression of, Specific Plan No. 2. They are also a key element of the overall landscape concept.

As previously discussed, tall, vertical trees, visible from a distance, will identify key areas of interest throughout Specific Plan No. 2. Large masses of colorful trees and shrubs will be used as accents to highlight these special areas. The primary plant materials will include Sycamores, Cedars, Poplars, and Pines. The location of community entrances and key intersections are shown on the Master Landscape Design Concept Plan.

The primary community entry is planned at the southernmost entrance to Specific Plan No. 2. This location is shown on the Master Landscape Design Concept Plan as Community Entry. A secondary community entry is located at Walnut Canyon Road/ Spring Road intersection.

The design for the primary community entry will reflect the rural theme and transition from the urban areas to the south and the natural areas to the north. At this entry point, landscape screening materials will be utilized to minimize the visual impacts of the Spring Road extension from the adjacent neighborhoods to the east. At the western entry, slopes adjacent to the arterial shall be contour graded to enhance the existing natural landform nearby. At both entrances, masses of Oaks, Purple Orchard Trees Cedars, Pines, Weeping Bottle Brush, Crape Myrtle, and Evergreen Pear will be used to create an informal setting. Community monumentation will utilize pilasters, walls, and fencing made of materials compatible with those used for the community fences found on the Community Arterial. Materials shall emphasize natural elements such as stone and wood. Also, the use of controlled uplighting of landscape features and signage monumentation shall be encouraged. The plan views for entries are shown on Exhibit 23, Community Entrance and the Street section of the community entrance is shown on Exhibit 24.

Entrances from Collector Streets will be more understated and modest in design, while still emphasizing the entry progression from one landscape zone to another. These entry features will identify and establish an image for individual neighborhoods. Plant materials will be a combination of evergreen and deciduous grouped plantings, utilizing colorful shrubs and flowers for accent. Pilasters and wall details will further emphasize entry into residential neighborhoods. Again the use of controlled uplighting for landscape elements and signage will be encouraged.

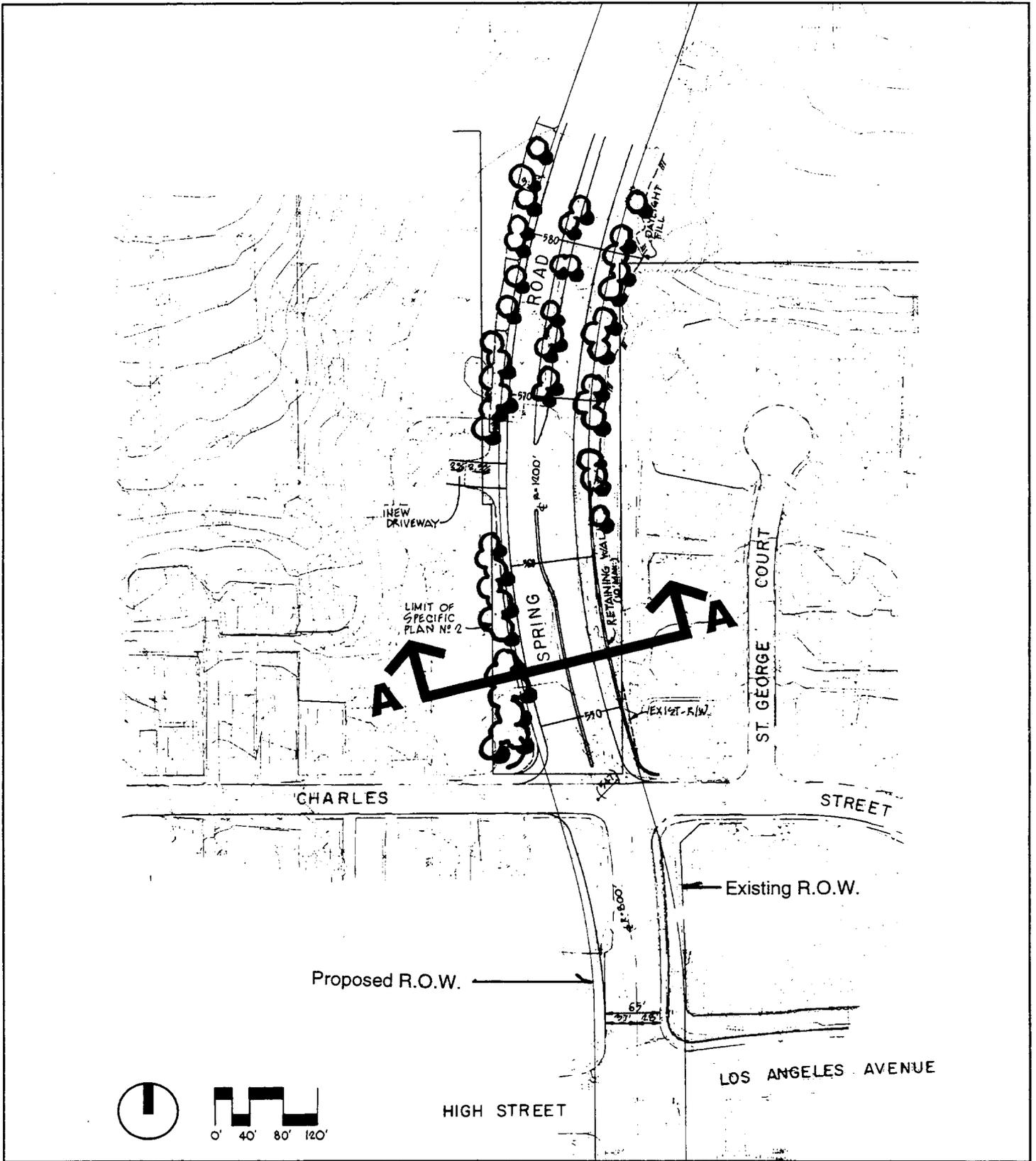
8.3.7 Site Furnishings

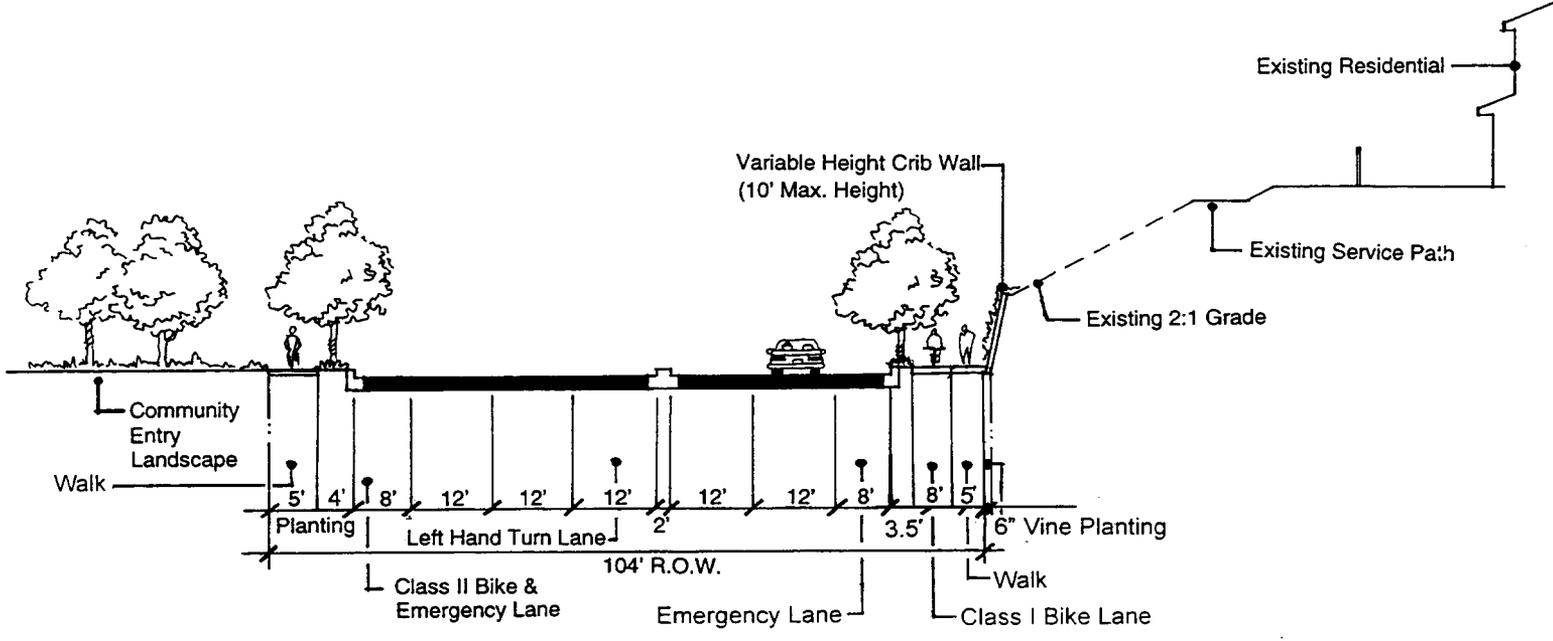
Site furnishings serve aesthetic as well as functional uses within the community. Elements such as mail boxes, benches, bus shelters and trash receptacles create opportunities to reinforce a consistent community-wide design theme. Exhibit 25 provides visual examples of typical site furnishings. The approved site furnishings shall be designed to fit into and reinforce the theme of the neighborhood in which they are located. Site furnishings located along arterial roadways shall maintain a consistent design theme. The approved site furnishings are incorporated into the adopted Design Manual.

The design of grouped mailboxes should reflect the overall architectural character of Specific Plan No. 2. Mail boxes shall also meet the requirements of the United States Postal Service.

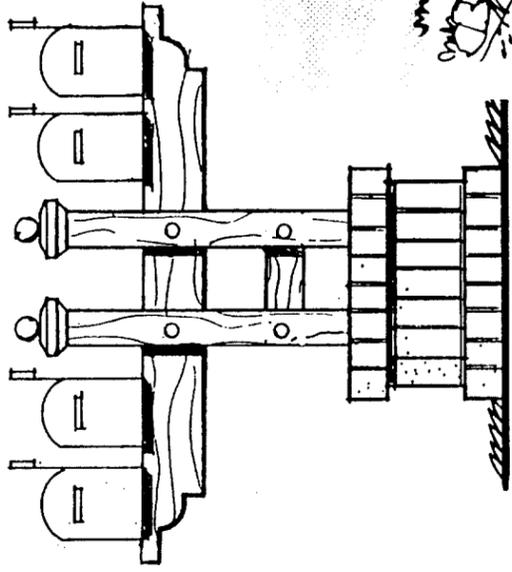
The final location of bus shelters will be coordinated with the City Engineer and appropriate transportation officials. Bus shelter structures are appropriate in those areas generating significant potential passengers such as multi-family developments. Advertising and signage will not be allowed on any bus facility within Specific Plan No. 2. Bus shelters will provide shade and protection from the elements, a place to sit, and a trash receptacle. The materials and design of such structures will be consistent with the City and the community-wide design theme.

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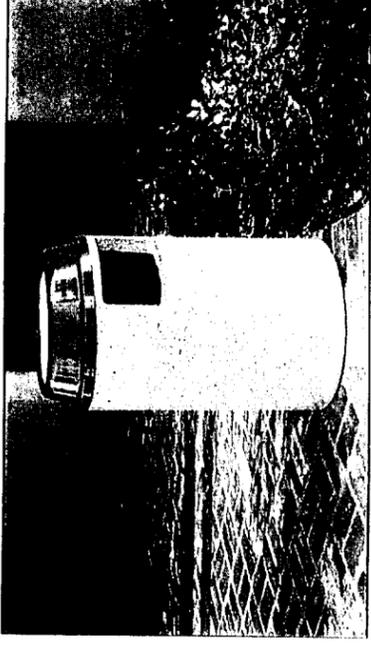




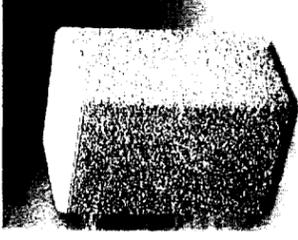
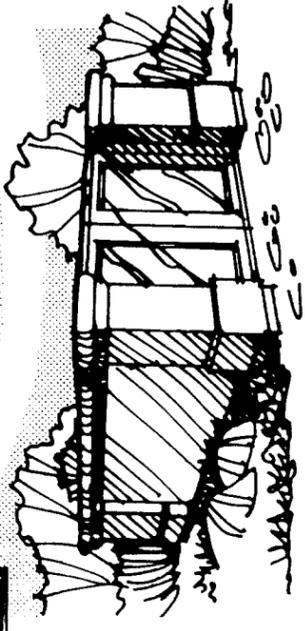
SECTION A-A



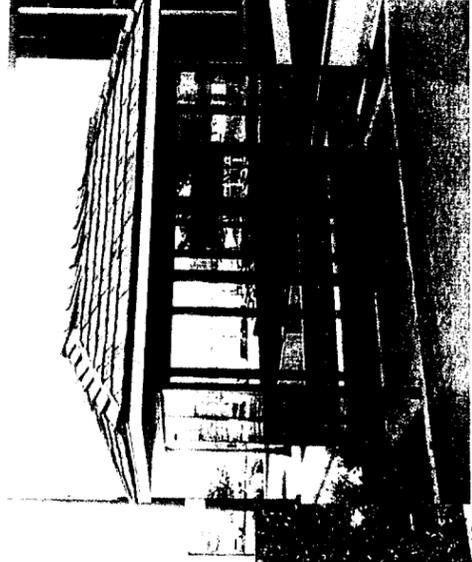
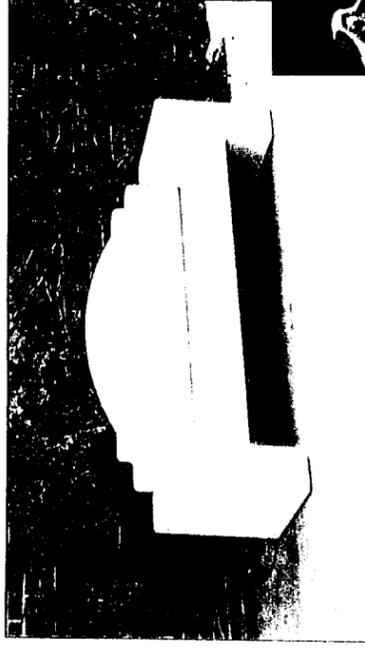
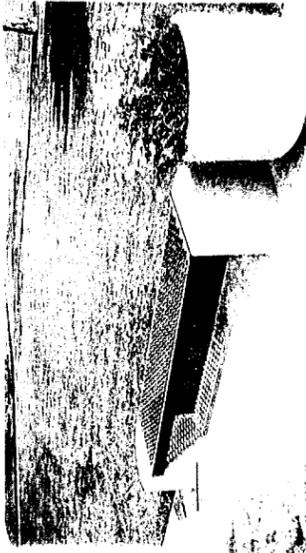
GROUP MAIL BOXES



TRASH
RECEPTACLES



SITE FURNITURE



8.4 Architectural Themes

These design guidelines have been developed in order to achieve a high quality, cohesive design theme for Specific Plan No. 2, while allowing variety in architectural expression. The design theme is envisioned to create a rich community character, weaving together a number of designs reminiscent of the architectural styles of Southern California in the early part of this century, while incorporating modern materials and lifestyles and preferences into the architectural design.

The following sections contain descriptions and illustrations which are expressions of the intended character and appropriate design responses. Flexibility in interpretation and innovation are encouraged to create distinct individual neighborhood identities within the common elements of the community theme; however, quality and cohesive design should be maintained.

8.4.1 Monterey

The Monterey style of architecture is characterized by having two stories with a low-pitched gabled roof (occasionally hipped) and a second-story balcony which may be cantilevered and covered by the principal roof.

Ceramic tiles should be used for the roof material. Wall materials are either stucco, brick, or wood (weatherboard, shingle, or vertical board-and-batten).

Buildings in this style emphasize earth tones and simple, rustic detailing. The first and second stories frequently have different exterior materials, with wood over brick being the most common pattern. Paired windows and false shutters may be used.

Door and window surrounds may be absent or of simple style. Full length windows may open onto the balcony form.

Concept diagrams and comparable design styles are illustrated on Exhibit 26.

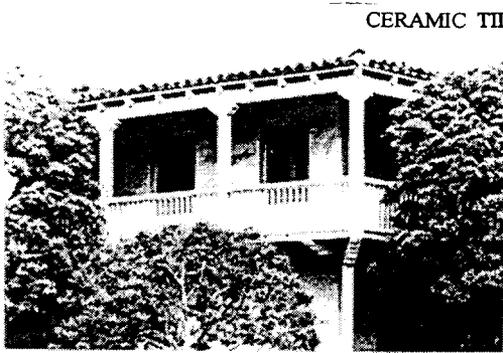
8.4.2 Spanish Eclectic

The features which characterize Spanish Eclectic architecture include a low-pitched roof, usually with little or no eave overhang and a red tile roof covering. One or more prominent arches may be placed above a door or a principal window or beneath a porch roof. The wall material is usually stucco, and the facade is normally asymmetrical. Several roof tiles are often used; Mission tiles which are shaped like half-cylinders, and Spanish tiles which have a S-shaped curve.

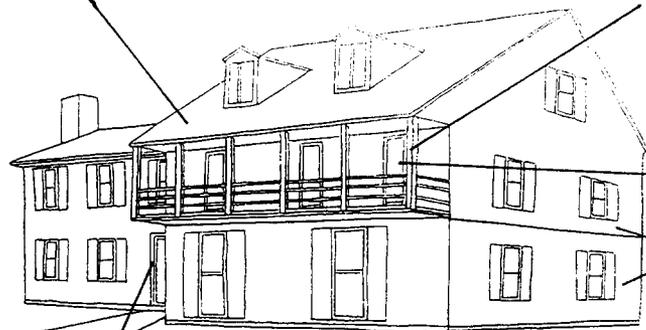
Doors usually have elements such as adjacent spiral columns, pilasters, carved stonework, or patterned tiles. Entrance doors of heavy wood panels which are sometimes arched at the top may also be used. Doors leading to exterior patios and balconies may be paired and glazed with multiple panes of rectangular glass.

Windows may be accentuated by the use of one large focal window. These may be triple-arched or parabolic shape and may contain stained glass. Balconies are often cantilevered and may be open or roofed with wood or iron railings.

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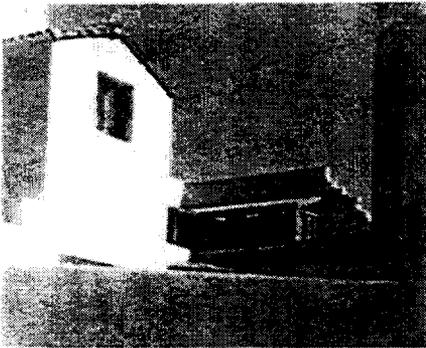
CERAMIC TILE ROOF



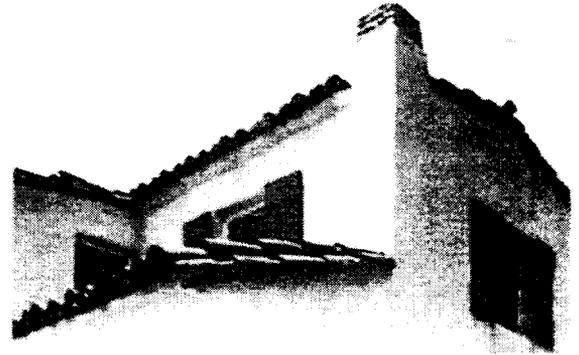
SIMPLE POSTS ON BALCONY

FULL-LENGTH WINDOWS
OPENING ONTO BALCONY

FIRST AND SECOND
STORIES OF DIFFERENT
MATERIALS



DOOR AND WINDOW SURROUNDS ABSENT
OR OF SIMPLE COLONIAL FORM

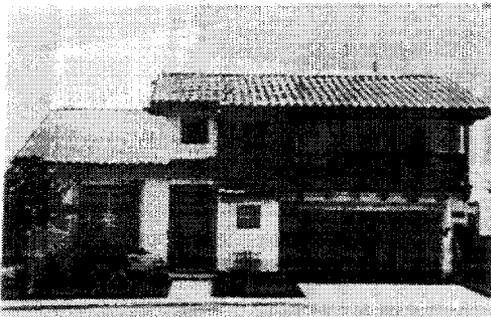


LOW-PITCHED GABLE ROOF



TWO STORIES

SECOND-STORY BALCONY, USUALLY
CANTILEVERED AND COVERED BY
PRINCIPAL ROOF



Other typical details include: tile-roofed (and otherwise decorated) chimney tops; stucco, brick, or tile decorative vents; fountains; arcaded walkways (usually leading to a rear garden); and round or square towers.

Concept diagrams and comparable design styles are illustrated on Exhibit 27.

8.4.3 Mediterranean

This style is related to the traditional Mediterranean style found throughout Southern California in recent years and is called a "Tuscan" cottage. It is characterized by the following design elements: one or two story homes, often with stucco walls and tile roofs. However, the "Tuscan" cottage is more refined in proportion and detail and much more aligned with the Renaissance period of art and architecture.

Details may include slender columns, semi-circular arches, ornamental moldings, castings, medallions, and the use of marble and granite. Tile accents may be found on the building facade. Windows may be ornamental/geometric shaped and may be surrounded with wood slab-type shutters.

Other traits may include ornamental balconies, along with projected walls on brackets. Double arch arcades may be used to highlight the entryway.

Concept diagrams and comparable design styles are illustrated on Exhibit 28.

8.4.4 Bungalow

The Bungalow style of architecture is an outgrowth of the Craftsman style; it is characterized by cottage-like dwellings, informal in plan, elevation and detail. It has a human scale and friendliness to it. Its lines are low and simple. At most, it has two stories, but usually one, and may have large porches. Single story plate lines are often incorporated such that the second story plate lines are set back from the first story elevations to effectively break up building mass.

Distinguishing traits may include low shed dormers for additional space and light, tapered porch posts, a gable roof, bungalow porch stoops and gently pitched, projecting roofs. The overall massing of each home is organized as a whole unit and does not appear as a mixture of unrelated forms.

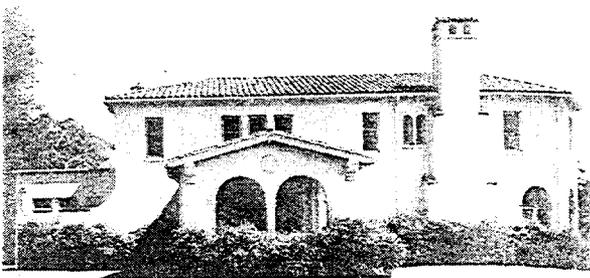
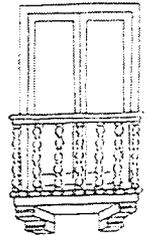
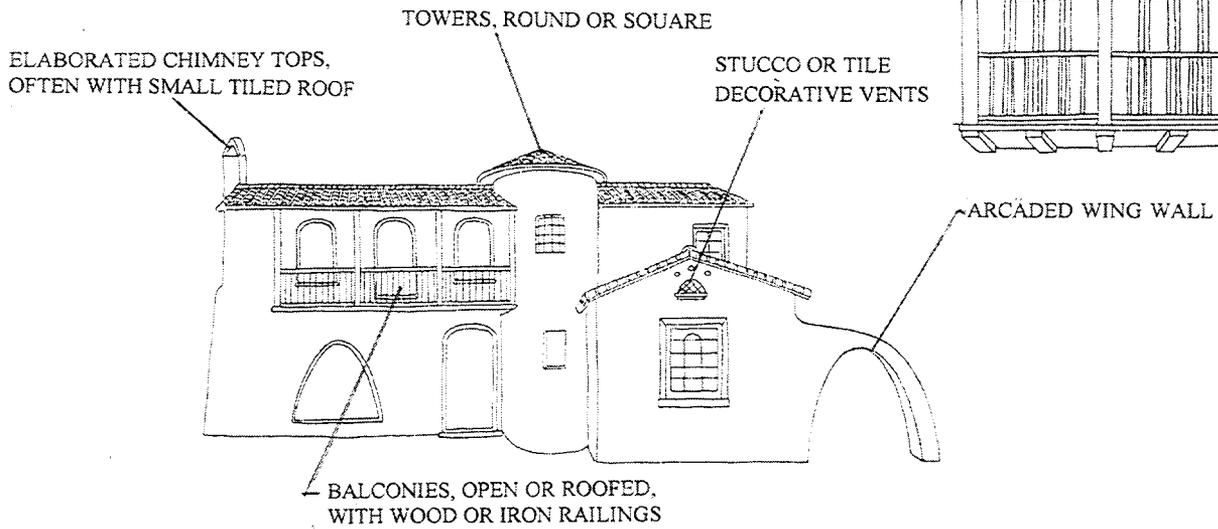
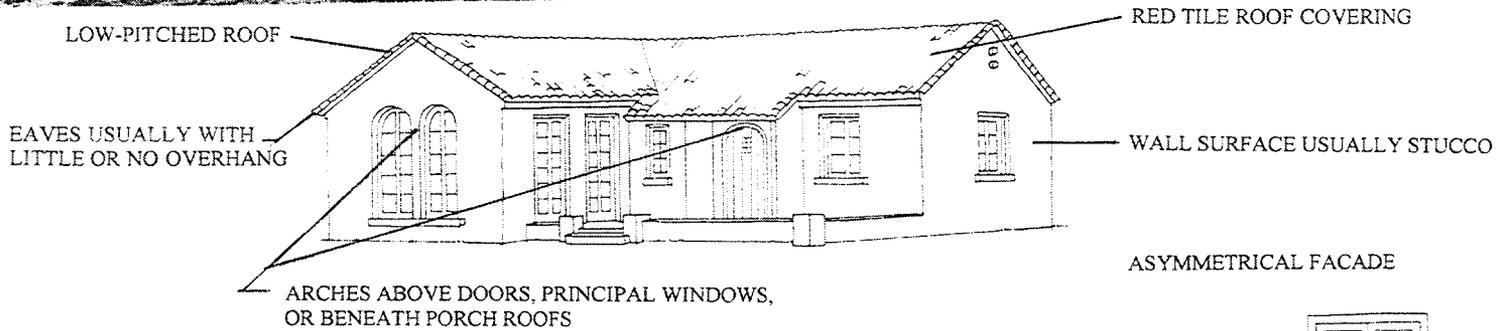
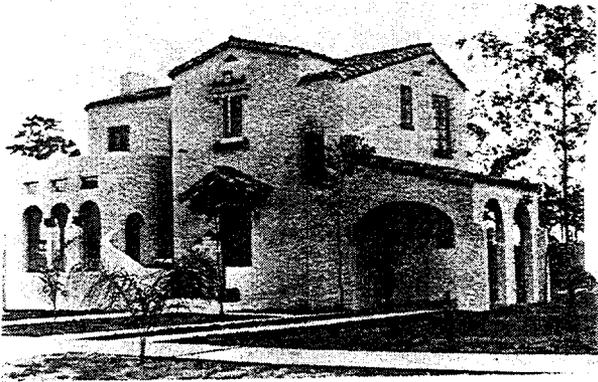
Wall materials may include wood, stucco, block, shingles, brick or stone, using earth colors. Windows may contain geometric patterns of small-pane window glazing. Mullions may be used to break up the windows. Doors may contain detailing such as paneling. A variety of roof forms and materials are often used including rolling profile or flat concrete tiles or S-tiles. The entry is often articulated as a focal point of the front elevation through the use of roof elements, columns, porches, pilasters, or windows. Ceramic tile or masonry accents may be used around window or door openings.

The homes usually have stucco walls and tile roofs resulting from the precedent of Spanish Colonial architecture. Variations with different siding and roofing materials evolved with the settlement of the West by groups from the East Coast.

House forms are typically simple rectangular shapes, with an occasional projecting wing in an asymmetrical position. Roofs usually consist of a low pitch roof form, either hip or gable.

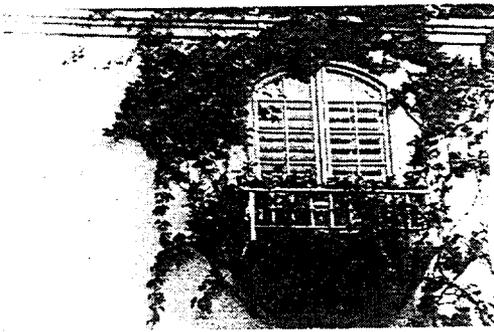
Concept diagrams and comparable design styles are illustrated on Exhibit 29.

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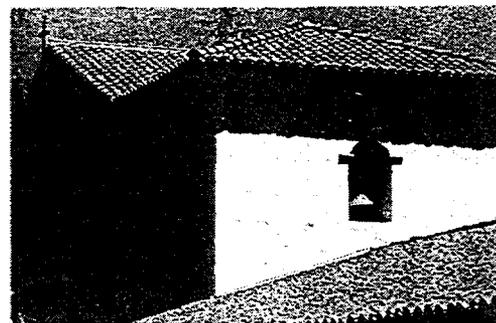
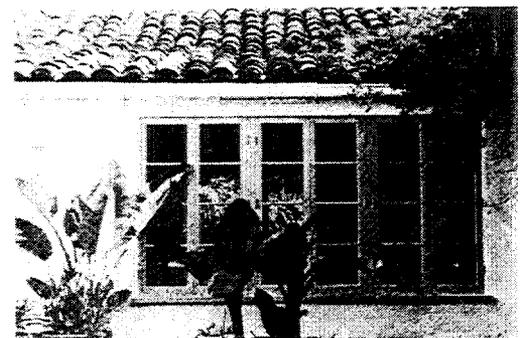
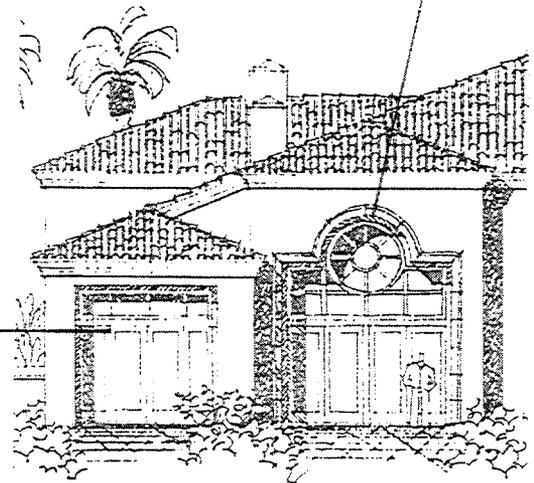
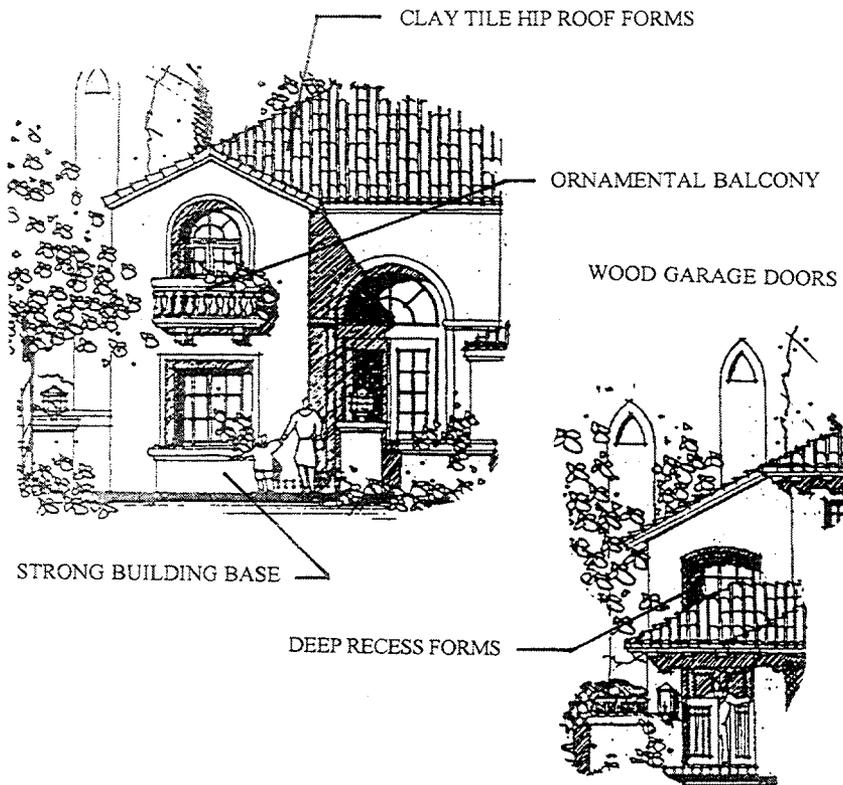


MOORPARK SPECIFIC PLAN NO. 2

City of Moorpark, California



"TOWER-LIKE ENTRY"



8.5 Architectural Components

8.5.1 Overall Massing

- A. The overall massing of each home should be organized as a whole unit. It should not appear as a mixture of unrelated forms. Both single- and two-story homes may be provided. Two-story homes on corner lots are discouraged except where additional setbacks from the street are provided to the second story.

8.5.2 Plate Lines

- A. Single story plate lines should be incorporated along some of the front yards, where possible, to provide for a reduced scale along the street. A single story plate line should be encouraged on the rear facade elevation allowing for greater light and air penetration, where possible.
- B. It is recommended that second story plate lines be set back from first story elevations to effectively break-up building mass and to increase the perceived front yard setback, where possible.
- C. Where more than one architectural style or theme is used in a neighborhood, plate lines should be kept at the same level to create consistency among the homes.

8.5.3 View Windows

- A. Primary second story view windows should be oriented to the front and rear of the homes to minimize views into adjacent rear and side yards, wherever possible.

8.5.4 Articulation of Elements

- A. Articulation of architectural elements should be incorporated into the design of houses through the treatment of windows, doors, entries, elevations, roofs, and garages.

1. Windows and Doors

Deep set or pop-out windows and doors along with other architectural projections and recesses should be used to achieve articulation through shadowing effects. Large flat wall planes should be avoided.

Use of wood windows is highly encouraged, while the use of painted aluminum should be minimized. Natural aluminum is not permitted.

2. Rear and Side Elevations

Architectural articulation of the rear and side elevations which are highly visible from arterials or off-site open space should be treated in a similar manner to the front elevation.

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LOW-PITCHED GABLED ROOF (OCCASIONALLY HIPPED) WITH WIDE, UNENCLOSED EAVE OVERHANG

ROOF RAFTERS USUALLY EXPOSED

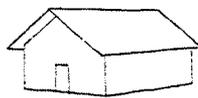
DECORATIVE (FALSE) BEAMS OR BRACES UNDER GABLES

COLUMNS OR COLUMN BASES FREQUENTLY CONTINUE TO GROUND LEVEL (WITHOUT BREAK AT LEVEL OF PORCH FLOOR)

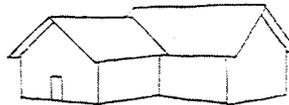
PORCHES, EITHER FULL OR PARTIAL WIDTH, WITH ROOF SUPPORTED BY SQUARE COLUMNS



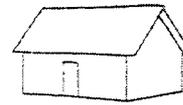
FRONT-GABLED ROOF



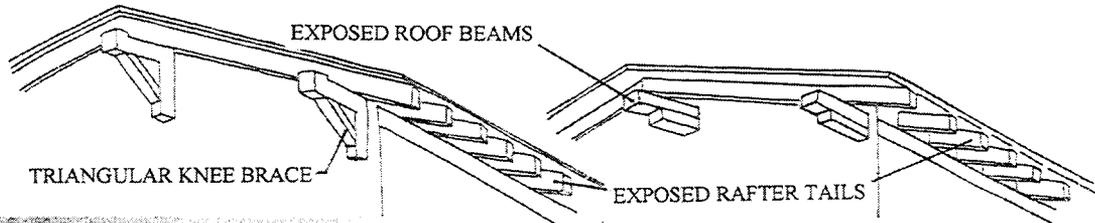
CROSS-GABLED ROOF



SIDE-GABLED ROOF



HIPPED ROOF



3. Roofs

Variation in roof materials should be utilized to create a sense of individuality and diversity. A wide variety of roof pitches (3.5: to 8:12) and forms are permitted to encourage individual architectural expression. Use of natural finish roofs is also permitted. Roof colors should be compatible with others within the Planning Area. Areas of flat roof for terrace covers and trellises are acceptable if designed as architectural extensions of the house. Roof materials on such areas should blend in color with the main roof. Concrete or composition roof tiles will be utilized instead of wood in all areas.

4. Entries

The entry should be articulated as a focal point of the front elevation through the appropriate use of roof elements, columns, recesses or pop-outs, windows, or other architectural features.

5. Garages

Garage doors should be simple in design so as not to distract from the architectural elevation of the unit. Garage doors should be recessed, where possible, to create depth and shadow patterns.

When garages are adjacent to one another along interior lot lines, a 3-foot minimum difference in setbacks should be provided, wherever possible.

Curvilinear local streets are encouraged with staggered garage setbacks to soften the streetscape.

The materials, colors, and roof forms of detached garages for single-family homes and carports for multi-family units should be consistent in design with the adjacent residential buildings. The integration of carports with patio and project walls is encouraged to add variety and relief to the streetscape. Carports may be attached to community theme walls, but roofs should not be visible from arterials. Prefabricated metal carports are prohibited.

6. Second Stories

Two story units should incorporate second story architectural elements above the garage such as special window treatments, wherever possible.

8.5.5 Miscellaneous Design Elements

A. The following outlines guidelines for the treatment of miscellaneous design elements.

1. Gutters

Gutters and down spouts should be concealed unless designed as continuous architectural features. Copper gutters and downspouts are permitted.

Exposed gutters, (other than copper) used as an architectural feature, are to be colored to match the surface to which they are attached. All gutters and downspouts will be connected to a yard storm drain system.

2. Chimneys

The maximum height to the top of the spark arrestor should be four feet above the ridgeline. Chimney caps should be painted and designed to complement the major architectural elements of the house and should screen the spark arrestor.

3. Skylights/Solar Panels

When skylights are used, they are to be designed as an integral part of the roof. Skylight glazing should be clear, solar bronze, or white. Reflective glazing is prohibited. Skylight framing material should be anodized bronze or colored to match the roof. Natural aluminum framing is prohibited.

Solar panels are not permitted on the front elevation of dwelling units if the panel may be seen from a public street.

4. Flashing and Sheet Metal

All flashing and sheet metal should be colored to match attached material.

5. Balconies, Trellises, Patio Covers, Sun Shades, Structures, and Gazebos

All appurtenant structures should be integral to the main structure and designed to be consistent with the home's architectural character.

6. Trash Containers

Trash containers should be screened from the view of both neighbors and the street. Such area cannot be within the front yard setback.

7. Recycling Bins

Recycling bins should be provided within the garages or pantries of dwelling units, and shall be consistent with the City of Moorpark Municipal Code requirements as they may be amended from time to time.

8. Exterior Lighting

Exterior lighting on any structure should be aimed generally downward and shaded by opaque receptacles. The light source should not be unreasonably visible from another home or the common area.

9. Vents

All vent stacks and pipes should be colored to match the adjacent roof or wall material. Vent stacks should be grouped on the side or rear of the roofs and should not extend above the roof ridgeline. Vents are not permitted on the roof on the front of the house.

10. Walls and Fences

Long perimeter walls are to be variegated with areas of visual penetration and landscaped recesses. View fencing should be provided along areas where public views orient toward open space.

Where retaining walls are located next to sidewalks and/or bike paths, and there is potential for seepage, a planting area should be located at the base of the wall. The planting area should be wide enough to absorb the potential seepage.

8.6 Single Family Residential (RPD-SF) Guidelines

Residential Planned Development (RPD-SF) lots in Planning Areas 1-4 are medium to large sized with a minimum lot size of 6,000 square feet in the RPD-SF zone. Residential Planned Development (RPD-SF) lots in Planning Areas 8 and 9 are estate lots with a minimum lot size of 10,000 square feet in the RPD-SF zone. Local streets and lots are typically irregular in shape and size.

RPD-SF lots in Planning Area 1 are intended to form more compact neighborhoods where innovative siting and architectural design solutions are encouraged. These single family detached cluster lots shall be no less than 3,500 square feet and on-site recreational amenities and common open space shall be provided for the residents. Zero-lot line, Z-lot and wide and narrow single family detached configurations are encouraged to provide architectural and street scene diversity while maximizing privacy and yard areas. Additionally, cluster courtyard homes centered on an auto court with direct access to the residential streets shall be allowed.

8.6.1 Site Planning

- A. A combination of side-entering and front-entering garages is encouraged to promote variety in street frontage. Driveway location should be varied, and curvilinear streets should be utilized to emphasize changes in the street scene.

8.6.2 Setbacks

- A. Varied front yard setbacks should be used, wherever possible, to provide visual interest to the street scene.
- B. Buildings should be arranged in a staggered and variable setback fashion, wherever possible, to provide visual interest, allow views between adjacent buildings, and to avoid a repetitive appearance. Rear setbacks for all structures facing roadways and the freeway reservations should be perceptively varied.
- C. Side yard setbacks should also be varied, where possible. Increased side yard separation is encouraged to allow pass-through views and create view corridors.

8.6.3 Floor Plans

- A. Floor plans should be altered and reversed to avoid monotonous elevations. The overall street scene should be arranged to ensure that identical units do not align directly across the street or adjacent to each other.

8.6.4 Massing

- A. Where one-story units occur, they should be situated between two story units, where possible, to maximize their low mass effect on the street scene. Two-story architectural elements should be varied between placement in the front of the lot and to the rear of the lot, as viewed from interior streets and adjacent arterial highways, where possible.
- B. The siting and design of structures and landscaping should ensure that they blend into the terrain and do not dominate the landform as seen from lower elevations.

8.6.5 Mechanical Equipment

- A. All mechanical equipment should be ground mounted and screened from view by walls or fences similar in design to the building architecture or by plant material adequate in size to provide proper screening.

8.6.6 Open Space and Private Recreation Areas

- A. In areas adjacent to natural open space, the location of structures and fencing in rear yards should be controlled to prevent the location of structures or fences on down slopes in areas adjacent to natural open space. Landscaping adjacent to natural open space should sensitively transition from natural to ornamental vegetation. These requirements should become a part of the covenants, conditions, and restrictions for these areas.
- B. Common open space and recreation areas should be located in Planning Area 1 (reference Exhibit 18). These facilities should be located at visible points of entry to provide a lower density appearance and to feature open space areas. Potential uses allowed in these private recreation areas include a cabana structure, restrooms, pool, spa, play apparatus, benches, barbecue facilities, multi-use lawn area, signage, lighting and site furnishings. Refer to Sections 9.2.2 and 9.2.3 for further discussion of common areas.

8.6.7 Views

- A. Street views into open space should be maintained, wherever possible, to enhance the street scene and lower the density character.
- B. Development edges between natural open space and improved recreation areas should maximize view potential and allow easy access between these areas.
- C. Specific Plan No. 2 entries should be punctuated by a strong open view of significant green space, wherever possible, and preferably relate directly to a common recreation facility.
- D. Major slopes located next to recreation areas should be graded to transition gradually into the landscaped and usable areas to maximize the effectiveness of the adjacent open space.

8.7 Multi-Family Residential (RPD-MF) Guidelines

The multi-family residential category is intended to provide for the development of medium density duplexes, condominiums and apartments within Planning Area 5. Multi-family residential uses will provide an important balance to the community, allowing affordable housing opportunities.

The design guidelines established for Single-Family Detached generally apply to Multi-Family as well. In addition, the following guidelines also apply to Multi-Family dwelling units:

8.7.1 Site Planning

- A. The following outlines the site planning guidelines for the multi-family residential.
 - 1. The maximum average number of dwelling units in a multi-family building will be 12. Also, where two (2) or more units are attached, building footprints should stagger a minimum of four (4) feet to promote architectural articulation.
 - 2. Solid walls or fences not to exceed six feet in height should be provided along property lines adjoining single-family detached areas.
 - 3. Any support buildings within multi-family residential areas such as recreation buildings, laundry facilities, sales/leasing offices, etc. should be consistent in materials, form and colors to the architectural character of that neighborhood.
 - 4. All trash and refuse collection areas should be screened on three sides with a six-foot masonry wall. The wall should be finished to match the architectural character of the residential units. Refuse enclosures should have opaque doors to screen the fourth side. Vines or other planting material attached to the sides of the enclosure are encouraged to soften the appearance. Adding a code acceptable overhead trellis structure to limit views from adjacent structures is encouraged.

8.7.2 Massing

- A. The following outlines guidelines for the design treatment of building mass and scale.
 - 1. Building mass and scale are prominent design features of an attached or multi-family project. Long, unbroken building facades are not permitted. Offsets should be an integral part of the building design. Building massing that incorporates a combination of one-story elements and two-story elements with varied floor setbacks and cantilevered architecture at the second story is encouraged.
 - 2. Multi-family buildings should be designed as a series of individual homes, rather than a single building. The individuality of each unit is further enhanced by providing each unit with its own entry and identity.
 - 3. Horizontal, vertical and roof planes should be staggered and articulated to create visual interest. Also, the use of single story elements to reduce the overall mass of the structure and add variety, especially along the Specific Plan No. 2 perimeter and for the street end units, is encouraged.

4. Storage and utility areas should be located out of public view and should be screened and secured in an aesthetically pleasing manner.

8.7.3 Common Open Space and Private Recreation Areas

- A. The following outlines guidelines for the location, design, and treatment of common open space and private recreation areas.
 1. Multi-family structures should be cluster-sited to provide for maximum open space, when possible. Private outdoor spaces, such as patios or balconies, are encouraged for each unit in multi-family projects.
 2. Common open space should be linked to public open space and/or adjacent to local streets, wherever possible. Common areas in multi-family projects should be located to maximize accessibility by residents.
 3. Common open space and recreation areas should be located at visible points of entry to provide a lower density appearance and to feature open space areas. Potential uses allowed in these private recreation areas include a cabana structure, restrooms, pool, spa, play apparatus, benches, barbecue facilities, multi-use lawn area, signage, lighting and site furnishings.
 4. Major slopes located next to recreation areas should be graded to transition gradually into the landscaped and usable areas to maximize the effectiveness of the adjacent open space.

8.7.4 Parking

- A. The following outlines guidelines for the location, design, and treatment of parking areas.
 1. Off-street parking facilities should be designed so that a car within a facility shall not have to enter a street to move from one location to any other location within the same parking facility. Common parking facilities should be constructed in such a manner so that any vehicle on the property will be able to maneuver so that it may exit from the property traveling in a forward direction.
 2. Curbs or wheel stops should be provided in all parking lot areas abutting a sidewalk, walkway, street, building, or alley so that car bumpers do not overhang.
 3. Parking areas should be designed so that pedestrians walk parallel to moving cars. Designs should minimize the need for pedestrians to cross parking aisles. The parking area should be designed in a manner that links it to the building and street sidewalk system as an extension of the pedestrian environment. This can be accomplished by using design features such as walkways with enhanced paving, trellis structures, and/or landscaping treatment.
 4. Guest parking should be located along the through-circulation drives and near unit entrances, where possible. Parking lots and structures should be located as much as possible to the rear of buildings.

5. Parking courts should be treated as "landscape plazas" with attention to hardscape surfaces, softened edges, shade, and articulated pedestrian/ vehicular circulation.
6. Pedestrian and vehicular entrances should be clearly identified and easily accessible to minimize pedestrian/vehicle conflict.
7. Carports and parking structures should be located to minimize visual impact. Open parking and carports should be clustered in parking courts and along internal private drives to enhance security. Pedestrian and automobile circulation should be clearly defined. Special paving at parking court entries and landscape nodes between parking stalls are encouraged to soften the streetscape.

8.8 Grading

- A. The following outlines guidelines for the grading of the Specific Plan No. 2 property.
 1. Grading practices are intended to respect, preserve, or maintain the major natural features of Specific Plan No. 2 by minimizing grading on slopes, ridges, and canyons. Contour grading techniques should be utilized, wherever possible.
 2. A balance between cut and fill within the total community should be maintained. Any excess earth should be utilized on site.
 3. All grading and drainage system plans shall be prepared under the direction of a licensed Civil Engineer.
 4. Variation and undulation of the slopes should be utilized where possible to retain the natural character of the landform.
 5. Manufactured slopes should be treated with special aesthetic techniques to reduce visual impact. These techniques should include variable gradients, clustered landscaping, and rounded edges of slopes.
 6. Existing dominant landforms should be incorporated into the design of Specific Plan No. 2 through the use of sensitive grading plans.
 7. Manufactured slopes should be contoured to provide a smooth and a gradual transition to existing landforms to preserve the site's basic form.
 8. Grading should emphasize and accentuate scenic vistas and natural landforms, where possible.
 9. Recontoured slopes adjacent to roadways and development areas should be graded in such away that a natural undulating appearance is created (varied slopes).
 10. Graded soils and exposed slopes should be seeded and planted as soon as the site grading is complete, utilizing approved landscape materials and procedures.

11. Drainage courses should be maintained in their natural state, wherever possible. In areas where site development requires drainage course modification, the disturbed areas should be restored with native plant life and rocks.
12. Visually prominent slopes and vista points should be preserved to the maximum extent feasible.
13. Where residential access across drainage courses occurs, it should be accomplished by a bridge or aesthetically-enhanced culvert accommodating the access way. Natural materials should be used for slope bank protection where these improvements occur.
14. Storage of construction materials and equipment should be centralized, and is prohibited within proposed natural open space areas.
15. Creative contour grading techniques should be used in the low density areas where grading will be visible to public streets.
16. Curvilinear streets are encouraged to follow the existing landform.
17. A manufactured appearance to slopes should be avoided by creating smooth flowing contours of varying gradients, preferably with slopes of 2:1 to 5:1. Sharp cuts and fills and long linear slopes that have uniform grades should be avoided, where possible.
18. When a proposed subdivision contains average net lot sizes exceeding 20,000 square feet, lot grading shall be limited to building pad and related functional yard area which may not exceed 100% of the size of the pad area. Flat pad grading of the entire lot is prohibited. The grading plan submitted for project review shall clearly delineate graded and natural portions of proposed lots.
19. Grading on the perimeter of the site shall not be designed with perimeter downslopes to property lines unless a homeowners association, slope maintenance district, or similar entity is established for maintenance of such downslopes. For interior slopes between lots, manufactured building pads shall be designed with up-slopes to property lines.
20. Subdivision development plans shall indicate a minimum setback of 15 feet from the rear dwelling wall or retaining wall to the toe of slope and 20 feet setback from the rear dwelling wall to the top of a manufactured slope or retaining wall.
21. Manufactured slopes greater than ten (10) feet in height shall be rounded at the top and at the toe of slope to simulate natural topography. The approving authority may exempt side slopes from this provision if the height of the slope does not exceed 15 percent of the width of the lot and has a slope of less than ten (10) feet in height.
22. Manufactured slopes in excess of two hundred (200) feet in length and greater than ten (10) feet in height shall be designed with horizontal curvature that simulates the horizontal surface variations of natural contours.
23. Dwellings proposed on ungraded lots with natural grades of 20 percent and greater shall follow natural contours, utilizing such techniques as stepped foundations and split level floor plans.
24. For projects on a hillside area, and where it can be clearly established that reduced setbacks will enhance preservation of natural terrain and reduced grading, front setbacks may be reduced by the approving authority to ten (10) feet as applied to the main portion of the dwelling. Garage setbacks shall normally be twenty (20) feet except for a side loaded garage where a minimum driveway depth of twenty (20) feet from the right-of-way edge shall be provided.

25. Any continuous manufactured slope within a subdivision with a slope steepness of 3:1 or steeper, a vertical height of twenty five (25) feet or greater where so allowed under this chapter, and which abuts five (5) or more lots, shall require the creation of a Homeowners Association or other maintenance entity with provision for the collection of fees or assessments designated specifically to pay costs associated with the maintenance of all slopes falling under this category. The slope maintenance entity, rather than individual property owners, will be responsible for maintenance of said slopes. The Tentative Tract Map shall be designed in such a manner that provides access to said slopes by assessable easements and which avoids the necessity of gaining access to the slopes through individual lots. No fences shall be permitted between lots within the slope easement areas. Slope easement areas may be included as lot area for purposes of calculating lot size. Habitable structures shall not be permitted within common slope easement areas.

8.9 Design Review

The Design Review determines consistency with the Specific Plan Design Guidelines shall occur at the time of the Residential Planned Development (RPD) Permit or Conditional Use Permit (CUP) application and prior to Zoning Clearance for the building permit application, grading permit approval, etc. Design Review for Specific Plan No. 2 shall be required for all residential lots.

8.10 Design Guideline Definitions

The Design Guidelines contain some architectural terms that may not be found in everyday use. Though the following definitions are not all inclusive, the terms are set forth to help clarify some of the intent of these guidelines.

- A. **Cantilever** - 1. A projecting beam or other structure supported only at one end. 2. A bracket or block supporting a balcony or cornice.
- B. **Cornice** - A horizontal molded projection that crowns or completes a building or wall.
- C. **Dormer** - A window structure set vertically in a small gable projecting from a sloping roof. Subunits that resemble miniature houses; they have their own walls, roofs, and windows. These are added to provide space and ventilation to an attic, thus making it a functional part of the house.
- D. **Gable** - 1 - The triangular wall section at the ends of a pitched roof, bounded by the two slopes and the ridge pole. 2. That end of a building having a gable in the roof section. 3. Any triangular arch section, usually ornamental, as over a door or window.
- E. **Gabled Roof** - A pitched roof that ends in a gable. (The junction of roof and wall occurs not in a single horizontal plane, but at varying levels and angles from the horizontal).
- F. **Mullion** - A vertical strip dividing the panes of a window.
- G. **Parabolic** - A plane curve formed by a conic section taken parallel to an element of the intersected cone.
- H. **Pilaster** - A rectangular column with a capital and base set into a wall as an ornamental motif.
- I. **Rafter** - One of the sloping beams that support a pitched roof.

**TABLE A
PLANT LIST**

PRIMARY TREE SPECIES

1. MAJOR ARTERIALS

BOTANICAL NAME

Cedrus deodora
Pinus canariensis
Quercus agrifolia

COMMON NAME

Deodar Cedar
Canary Island Pine
Coast Live Oak

2. COLLECTORS

BOTANICAL NAME

Bauhinia purpurea
Cinnamomum camphora
Jacaranda mimosifolia
Platanus acerfolia
Platanus racemosa
Quercus agrifolia
Ulmus parvifolium

COMMON NAME

Purple Orchid Tree
Camphor Tree
Jacaranda
London Plane Tree
California Sycamore
Coast Live Oak
Drake Evergreen Elm

3. RESIDENTIAL STREETS

BOTANICAL NAME

Koelreuteria bipinata
Lagerstroemia indica
Magnolia grandiflora

COMMON NAME

Chinese Flame Tree
Crape Myrtle
Southern Magnolia

4. ENTRY FEATURES AND INTERSECTIONS

BOTANICAL NAME

Acacia baileyana
Bauhinia purpurea
Callistemon viminalis
Cedrus deodora
Cinnamomum camphora
Hymenoporum flavum
Lagerstroemia indica
Pinus species
Platanus racemosa
Populus candicans
Prunus species
Quercus agrifolia

COMMON NAME

Bailby Acacia
Purple Orchid Tree
Weeping Bottle Brush
Deodar Cedar
Camphor Tree
Sweet Shade
Crape Myrtle
Pines
California Sycamore
Balm of Gilead
Evergreen Pear
Coast Live Oak

5. PRIVATE OPEN SPACE LINKAGES/BUFFER PLANTINGS

BOTANICAL NAME

Acer macrophyllum
Alnus rhombifolia
Fraxinus dipetala
Heteromeles arbutifolia
Pinus species
Platanus acerifolia
Platanus racemosa
Populus femontii
Populus trichoarpa
Prunus ilicifolia
Quercus agrifolia
Quercus lobata

COMMON NAME

Big Leaf Maple
White Alder
Foothill Ash
Toyon
Pines
London Plane Tree
California Sycamore
Fremont Cottonwood
Black Cottonwood
Hollyleaf Cherry
Coast Live Oak
Valley Oak

6. PARKS AND RECREATION FACILITIES

BOTANICAL NAME

Cupaniopsis anacardioides
Ficus macrophylla
Fraxinus v. 'rio grande'
Jacaranda mimosifolia
Melaleuca nesophila
Pinus species
Pistachia chinensis
Platanus acerifolia
Platanus racemosa
Podocarpus spp. pyrus kawakamii
Quercus agrifolia

COMMON NAME

Carrot Wood
Morton Bay Fig
Fan-Tex Ash
Jacaranda
Pink Melaleuca
Pine
Chinese Pistache
London Plane Tree
California Sycamore
Evergreen Pear
Coast Live Oak

7. SCHOOL

BOTANICAL NAME

Eucalyptus ficifolia
Ficus macrophylla
Fraxinus species v. 'rio grande'
Magnolia grandiflora
Pistachia chinensis
Platanus acerifolia
Platanus racemosa
Quercus agrifolia

COMMON NAME

Red Flowering Gum
Morton Bay Fig
Fan-Tex Ash
Southern Magnolia
Chinese Pistache
London Plane Tree
California Sycamore
Coast Live Oak

8. ORNAMENTAL PLANT LIST

SHRUBS

BOTANICAL NAME

Abeiiia grandiflora
Abelia grandiflora "Shenvoodii"
Acacia ongerup
Aesculus californica
Agapanthus africanus
Agave americana
Aloe Arborescens
Anigozanthos flavidus
Arbutus unedo
Arctostophylos species
Artemisia arborescens
Atriplex species
Baccharis pilularis
Berberis thunbergii "Atropurpurea"
Bougainvillea species
Carpenteria californica
Ceanothus species
Cercis canadensis
Chaenomeles species
Cistus species
Cotoneaster species
Dendromecon rigida
Diets species
Mimulus species
Erigeron karvinskianus
Eriogonum species
Escallonia fiadesii
Euryops species
Fejoia sellowiana
Felicia species
Fremontodendron californicum

Galvezia speciosa
Hemerocallis hybrids
Iris species
Juniperus species
Lagerstroemia Indica 'petite'
Lavandula species
Magnolia Soulangiana
Magnolia Sinensis

COMMON NAME

Glossy Abelia
Dwarf Abelia
Prostrate Acacia
California buckeye
Agapanthus
Century plant
Torch Aloe
Kangaroo Paw
Strawberry tree
Manzanita
Silver Artemisia
Saltbush
"Twin Peaks"
Red Leaf Japanese Barberry
Bougainvillea
Bush Anemone
Wild Lilac
Eastern Redbud
Flowering Quince
Rock Rose
Cotoneaster
Island Bush Poppy
Moraea
Monkey Flower
Santa Barbara Daisy
Buckwheat
Escallonia
Golden Shrub Daisy
Pineapple Guava
Aster Bush
California Fremontia
(Common Flannel Bush)
Island Snapdragon
Daylily
Iris
Juniper
Dwarf Crape Myrtle
Lavender
Saucer Magnolia
Chinese Magnolia

BOTANICAL NAME

Mahonia species
 Myrtus communis
 Nandina species
 Nerium oleander
 Photinia fraseri
 Pittosporum tobira
 Pittosporum tobira 'variegata'
 Prunus ilicifolia
 Raphiolepis species
 Rhamnus californica
 Rhus integrifolia
 Rhus ovata
 Romneya coulteri
 Rosa species
 Rosmarinus officinalis
 Salvia species
 Santolina chamaecyparissus
 Scabiosa cretica
 Scabiosa farinosa
 Trachelospermum Jasminioides
 Trichostema lanatum
 Viburnum species
 Xylosma congestum

COMMON NAME

Berberis
 True Myrtle
 Heavenly Bamboo
 Oleander
 Fraser's Photinia
 Mock Orange
 Varigated Mock Orange
 HollyLeaf Cherry
 India Hawthorne
 California Coffeeberry
 Lemonade Berry
 Sugar Bush
 Matilija Poppy
 Roses
 Rosemary
 Sages
 Grey Lavender Cotton
 Pincushion Flower
 Dwarf Pincushion Bush
 Star Jasmine
 Woolly Blue Curls
 Viburnum
 Shiny Xylosma

9. VINES

BOTANICAL NAME

Bougainvillea species
 Clematis armandii
 Clytostoma callistegioides
 Ficus pumila
 Gelsemuim sempervirens
 Hardenbergia violace
 Jasminum polyanthum
 Macfadyena unguis-cati
 Miliettia reticulata
 Parthenocissus tricuspidata
 Rosa species
 Wisteria sinensis

COMMON NAME

Bouganvillea
 Vase Vine
 Lavender Trumpet Vine
 Climbing Fig
 Carolina Jessamine
 False Sarsaparilla
 Pink Jasmine
 Cat's Claw
 Evergreen Wisteria
 Boston Ivy
 Roses
 Chinese Wisteria

10. GRASSES

BOTANICAL NAME

Buchloe dactyloides
Carax glauca
Carax testacea
Cyndon "tiffway"
Elymus arenarius glaucus
Helictotrichon sempervirens
Miscanthus sinensis
Miscanthus sinensis 'variegatus'
Muhlenbergia rigens

COMMON NAME

Buffalo Grass
Blue Sedge
Orange Sedge
"Hybrid" Bermuda Grass
Blue Rye
Blue Oak Grass
"Yaku Jima"
Japanese Silver Grass
Deer Grass

11. GROUNDCOVERS

BOTANICAL NAME

Baccharis pilularis
Hypericum calycinum
Myoporum parvifolium
Pelargonium peltatum
Rosmarinus officinalis

COMMON NAME

Twin Peaks
St. John's Wart
Prostrate Myoporum
Ivy Geranium
Rosemary

12. NATIVE PLANT LIST - PRIVATE OPEN SPACE AND TRANSITION AREAS

WET/MOIST AREAS

BOTANICAL NAME

Acer macrophyllum
Acer nugundo
Adiantum jordanii
Agoseris grandiflora
Alnus rhombifolia
Amaranthus californicus
Amorpha fruticosa
Anemopsis californica
Baccharis emoryi
Baccharis salicifolia
Beardless Wild Rye
Carer paregracilis
Carer senta
Carer spissa
Castilleja stenantha

COMMON NAME

Big Leaf Maple
California Box Elder
California Maidenhair
Mountain Dandelion
White Alder
California Amaranth
Western False Indigo
Yerba Mansa
Emery Baccharis
Mulefat

Clustered Field Sedge
Rough Sedge
San Diego Sedge
Large Flowered Annual Paintbrush

BOTANICAL NAME

Claytonia perfoliata
 Clematis lasiantha
 Clematis ligusticifolia
 Cotula coronopifolia
 Cyperus eragrostis
 Cyperus erythrorhizos
 Deschampsia danthonioides
 Distichlis spicata
 Elocharis macrostachya
 Elocharis montevidensis

Epilobium ciliatum
 Equisetum laevigatum
 Equisetum telmateia
 Frankenia grandifolia
 Fraxinus velutina
 Gnaphalium palustre
 Helianthus annuus
 Hypericum formosum
 Jepsonia parryi
 Juncus balticus
 Juncus bufonius
 Juncus macrophyllus
 Juncus mexicanus
 Juncus rugulosus
 Juncus textilis
 Juncus xiphioides
 Lotus heermannii
 Lythrum californicum
 Marsilea vestita
 Melilotus albus
 Mimulus cardinalis
 Mimulus guttatus
 Muhlenbergia asperifolia
 Oenothera hookeri
 Parietaria floridana
 Platanus racemosa
 Pluchea odorata
 Populus fremontii
 Populus trichocarpa
 Potamogeton pectinatus
 Psoralea macrostachya
 Psoralea orbicularis
 Pteridium aquilinum

COMMON NAME

Miner's Lettuce
 Chaparral Virgin's Bower
 Western Virgin's Bower
 African Brass Buttons
 Tall Cyperus
 Red Rooted Cyperus
 Graceful Hairgrass
 Salt Grass
 Pale Spike Rush
 Slender Creeping Spike
 Rush Elymus triticoides
 Calif. Cottonweed
 Smooth Scouring Rush
 Giant Horsetail
 Alkali Heath
 Arizona Ash
 Lowland Cudweed
 Common Sunflower
 St. John's Wort
 Mesa Saxifrage
 Wire Rush
 Toad Rush
 Long Leaved Rush
 Mexican Rush
 Wrinkled Rush
 Indian Rush
 Iris Leaved Rush
 Woolly Lotus
 California Loosestrife
 Hairy Pepperwort
 White Sweet Clover
 Scarlet Monkey Flower
 Common Monkey Flower
 Scratch Grass
 Hooker's Evening Primrose
 Western Pellitory
 California Sycamore
 Marsh Fleabane
 Fremont's Cottonwood
 Black Cottonwood
 Fennel Pond Weed
 Leather Root
 Round Leaved Psoralea
 Western Bracken

BOTANICAL NAME

Ranunculus californicus
 Rhamnus californica
 Ribes aureum
 Rosa californica
 Rubus ursinus
 Saxifraga californica
 Scnpusamencanus
 Solidago californica
 Stachys albens
 Stachys rigida
 Trifolium obtusifolium
 Trifolium variegatum
 Trifolium wormskioldii
 Venegasia carpesioides
 Verbena lasiostachys
 Verbena robusta
 Veronica anagallis aquatica
 Veronica peregrina
 Vitis girdiana
 Woodwardia fimbriata

COMMON NAME

California Buttercup
 Coffee Beny
 Golden Currant
 California Wild Rose
 California Blackbeny
 California Saxifrage
 Winged Three Square
 California Goldenrod
 White Hedge Nettle
 Rigid Hedge Nettle
 Creek Clover
 White Tip Clover
 Cow Clover
 Canyon Sunflower
 Western Verbena
 Robust Vervain
 Great Water Speedwell
 Purslane Speedwell
 Desert Grape
 Giant Chain Fern

HYDROSEEDING LIST - DRY OPEN AREAS

BOTANICAL NAME

Antirrhinum coulterianum
 Antirrhinum nuttallianum
 Artemisia dracunculus
 Camissonia bistorta
 Chaenactis artemisiaefolia
 Chamaesyce serpyllifolia
 Daucus pusillus
 Diplacus aurantiacus

 Epilobium paniuculatum
 Euphorbia spathulata
 Festuca megalura
 Gnaphalium californicum
 Lotus strigosus
 Lupinus concinnus
 Malacothrix saxatilis
 Mentzelia micrantha

 Muhlenbergia microsperma
 Wouldang Mint

COMMON NAME

White Snapdragon
 Nuttall's Snapdragon
 Tarragon
 Southern Sun Cup
 White Pincushion
 Thyme Leaved Spurge
 Rattlesnake Weed
 Orange Bush Monkey Flower
 Emmenanthe pendulifera
 Parched Fireweed
 Reticulate Seeded Spurge
 Foxtail Fescue
 California Everlasting Lotus
 Strigose Lotus
 Bajada Lupine
 Cliff Malacothrix
 Small Flowered Stick Leaf
 Monardella lanceolata
 Annual Muhly

BOTANICAL NAME

Papaver californicum
 Penstemon centranthifolius
 Penstemon spectabilis
 Phacelia brachyloba
 Phacelia grandiflora
 Phacelia minor
 Phacelia parryi
 Rafinesquia californica
 Salvia columbariae
 scoparius
 Spartium junceum
 Whispering Bells

COMMON NAME

Fire Poppy
 Scarlet Bugler
 Royal Penstemon
 Short Lobed Phacelia
 Large Flowered Phacelia
 Wild Canterbury Bell
 Parry's Phacelia
 California Chicory
 Chia
 Deerweed
 Spanish Broom

13. CHAPARRAL AND SAGE PLANT LIST

BOTANICAL NAME

Achyrrachaena mollis
 Adenostoma fasciculatum
 Adenostoma sparsifolium
 Adiantum capillus-veneris
 Agropyron parishii
 Amorpha californica
 Arctostaphylos glandulosa
 Arctostaphylos glauca
 Aristida adscensionis
 Artemisia
 Atriplex californica
 Baccharis pilularis
 Bloomeria crocea
 Brickellia californica
 Bromus carinatus
 Castilleja affinis
 Ceanothus crassifolius
 Ceanothus cuneatus
 Ceanothus leucodermis
 Ceanothus megacarpus
 Ceanothus oliganthus
 Ceanothus spinosus
 Ceanothus tomentosus
 Ceanothus verrucosus
 Centaurium venustum
 Cerocarpus betuloides

COMMON NAME

Blow Wives
 Chamise
 Red Shanks
 Venus Hair Fern
 Parish's Wheat Grass
 Calif. False Indigo
 Eastwood's Manzanita
 Bigberry Manzanita
 Annual Triple Awned
 Californica Coastal Sagebrush
 Californica Saltbush
 Coyote Bush
 Common Golden Stars
 California Brickellbush
 California Brome
 Coast Paint Brush
 Hoary Leaved Ceanothus
 Buck Brush
 Chaparral Whitethorn
 Big Podded Ceanothus
 Hairy Ceanothus
 Green Bark Ceanothus
 Woolly Leaved Ceanothus
 Warty Stemmed Ceanothus
 Canchalagua
 Mountain Mahogany

BOTANICAL NAME

Chenopodium californicum
 Clarkia unguiculata
 Croton californicus
 Cryptantha intermedia
 Dichelostemma pulchellum
 Elymus condensatus
 Encelia californica
 Ericameria palmeri
 Ericameria parishii
 Ericameria pinifolia
 Erigeron foliosus
 Eriodictyon trichocalyx
 Eriogonum elongatum
 Eriogonum fasciculatum
 Eriogonum wrightii
 Eriophyllum confertiflorum
 Fraxinus dipetaia
 Gnaphalium bicolor
 Gnaphalium microcephalum
 Hazardia squarrosa
 Helianthemum scoparium
 Helianthus gracilentus
 Heteromeles arbutifolia
 Juglans californica
 Juniperus californica
 Keckiella cordifolia
 Lasthenia californica
 Layia platyglossa
 Leptodactylon californicum
 Linanthus androsaceus
 Linanthus dianthiflorus
 Linanthus liniflorus
 Linanthus Lonicera subspicata
 Lupinus agardhianus
 Lupinus excubitus
 Lupinus sparsiflorus
 Lupinus succulentus
 Maiacothamnus fasciculatus
 Malacothamnus densiflorus
 Malosma laurina
 Nolina parryi
 Notholaena newbenyi

COMMON NAME

California Goosefoot
 Elegant Clarkia
 California Croton
 Forget Me Not
 Blue Dicks
 Giant Wild Rye
 California Bush Sunflower
 Palmers Goldenbush
 Parish's Goldenbush
 Pine Goldenbush
 Leafy Daisy
 Hairy Yerba Santa
 Long Stemmed Buckwheat
 California Buckwheat
 Wrights Buckwheat
 Golden Yarrow
 Flowering Ash
 Bicolored Cudweed
 White Everlasting
 Sawtoothed Goldenbush
 Common Rock Rose
 Slender Sunflower
 Toyon
 California Black Walnut
 California Juniper
 Heart Leaved Penstemon
 Coast Golden Fields
 Common Tidy Tips
 Prickly Phlox
 Common Linanthus
 Ground Pink
 Flax Flowered
 Southern Honeysuckle
 South Coast Lupine
 Interior Bush Lupine
 Coulter's Lupine
 Arroyo Lupine
 Mesa Mallow
 Many Flowered Mallow
 Laurel Sumac
 Parry's Nolina
 Cotton Fern

BOTANICAL NAME

Opuntia littoralis
 Opuntia oricola
 Paeonia californica
 Pellaea andromedaefolia
 Pellaea mucronata
 Penstemon heterophyllus
 Phacelia cicutaria
 Phacelia ramosissima
 Phacelia tanacetifolia
 Pholistoma auritum
 Pickeringia montana
 Pinus attenuata
 Pityrogramma triangularis
 Plagiobothrys nothofulvus
 Prunus ilicifolia
 Pseudotsuga macrocarpa
 Rhus integrifolia
 Rhus ovata
 Rhus trilobata
 Ribes malvaceum
 Salvia apiana
 Salvia leucophylla
 Salvia mellifera
 Sambucus mexicana
 Stephanomeria exigua
 Stipa cernua
 Stipa lepida
 Venegasia carpesioides
 Viguiera laciniata
 Viola pedunculata
 Xylococcus bicolor
 Yucca whipplei

COMMON NAME

Coast Prickly Pear
 Pancake Prickly Pear
 Calif. Peony
 Coffee Fern
 Birds Foot Cliff Brake
 Foothill Penstemon
 Caterpillar Phacelia
 Bing Phacelia
 Tansy Phacelia
 Blue Fiesta Flower
 Chaparral Pea
 Knobcone Pine
 Goldenback Fern
 Rust Popcorn Flower
 Holly Leaved Cherry
 Big Cone Spruce
 Lemonade Berry
 Sugar Bush
 Squaw Bush
 Pink Flowered Currant
 White Sage
 Purple Sage
 Black Sage
 Mexican Elderberry
 Small Wreathplant
 Nodding Needlegrass
 Small Flowered Needlegrass
 Canyon Sunflower
 San Diego Sunflower
 Johnny Jump Up
 Mission Manzanita
 Spanish Bayonet

9.0 DEVELOPMENT REGULATIONS AND STANDARDS

9.1 Purpose and Intent

The development regulations and standards contained herein have been established to provide criteria for the development of the planning areas within Specific Plan No. 2. Implementation of the regulations and standards set forth in this section is intended to ensure that future development is coordinated and consistent with the goals and policies of Specific Plan No. 2 and the City's General Plan.

The following standards provide for the arrangement, development, and use of residential neighborhoods, open space areas, the school and park sites designated as public-institutional areas, and the State highway right-of-way dedication areas. Application of these regulations and standards is intended to encourage the most appropriate use of the land, create a harmonious relationship among land uses, and protect the health, safety, and general welfare of the community.

Certain development requirements generally are included as conditions of approval for subdivisions and development permits, and may not be contained in the Development Regulations and Standards for Specific Plan 2 or in the City's Municipal Code and Subdivision Ordinance. Such development requirements include, but are not limited to: On-site lighting standards, fixtures, lumen levels, coverage mounting and pole height; street lighting standards; front yard landscaping; bus shelters; quantities and sizing of trees and shrubs; general review/approval of landscaping and irrigation plans; review and approval of conditions, covenants and restrictions; requirements for homeowner/property associations; rain gutters; yard drains; trash and recycling enclosures; slough wall for slopes adjacent to street rights-of-way; and concrete driveways.

9.1.1 Definitions

Words and terms used in the Specific Plan No. 2 Development Regulations and Standards shall have the same definitions as given in the City of Moorpark Municipal Code, including Title 17, Zoning.

9.1.2 General Provisions

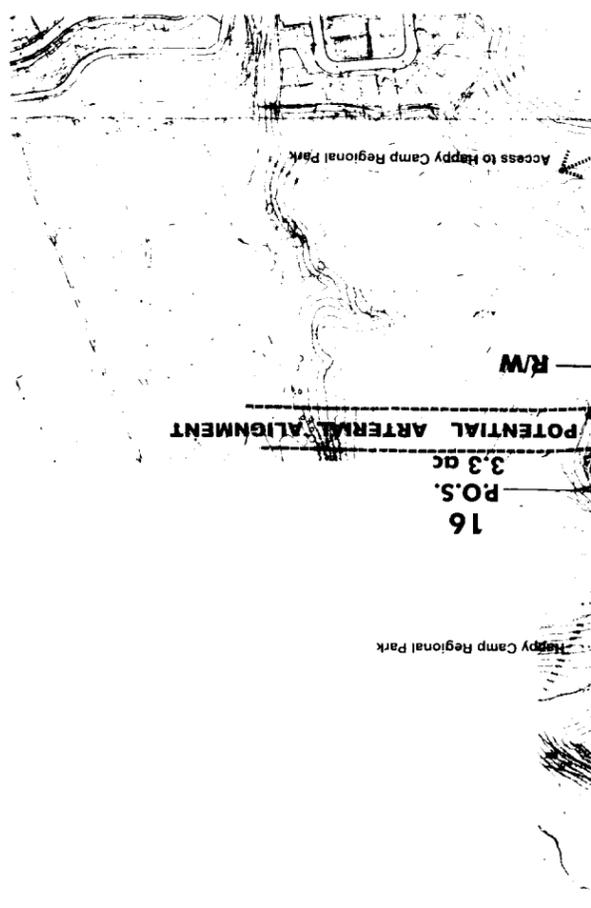
These Development Regulations and Standards regulate all development within the Specific Plan No. 2 area. The following general provisions apply to all zone districts within the Specific Plan area. Exhibit 30 depicts the zoning for the Specific Plan No. 2 property.

- A. The City Municipal Code shall regulate development in Specific Plan No. 2, except as modified by the regulations and standards contained herein. In such cases where the Specific Plan No. 2 development regulations and standards conflict with those in other Sections of Title 17 of the City Municipal Code, the Specific Plan No. 2 development standards shall apply.
- B. The establishment and changes of the zone district classification on land in the Specific Plan No. 2 area shall be as described in this Section and shall be adopted by an ordinance amending the City zoning map in the manner set forth in Chapter 17.60, Title 17, of the City Municipal Code. The zone districts for Specific Plan No. 2 shall be consistent with the Specific Plan Land Use Plan, Exhibit 4, and Section 17.16.070.B, Specific Plan (SP) Zone, which requires the use of the SP suffix for property that is subject to a specific plan.

- Notes:
1. Zoning Map adopted by Ordinance No. _____
 2. This Exhibit depicts the density range for each zoning category but in no case can the total number of units exceed 598 (Refer to Exhibit 5)

LEGEND

RPD - SF	Residential Planned Development - Single Family
RPD - MF	Residential Planned Development - Multi - Family
I	Institutional
POS	Private Open Space
NOS	Natural Open Space
R/W	Right-of-way



SCALE 1" = 600'

EDAW

- C. All land use entitlements and permits issued within the Specific Plan No. 2 area shall be consistent with Specific Plan No. 2 and the City's General Plan.
- D. Because it is infeasible to compose legislative language which encompasses all conceivable land-use situations, the Director of Community Development shall have the power to interpret the regulations and standards contained in this Specific Plan, when such interpretation is necessitated by a lack of specificity in such regulations and standards.

9.1.3 Entitlement Process and Procedures

Procedures for the processing of land use entitlement for the Specific Plan No. 2 area shall be the same as defined in Chapter 17.44 of Title 17 of the Moorpark Municipal Code.

9.2 Residential Planned Development Regulations

The purpose of these regulations is to provide assurances that residential development conforms to the City of Moorpark General Plan requirements for Specific Plan No. 2. These regulations also provide for a range of single-family detached and multi-family dwelling units with development regulations specifically applicable to the Specific Plan No. 2 property. Specific Plan No. 2 Development regulations may be more or less restrictive than the City's current development regulations for each residential category (see Exhibits 31 through 36 for the proposed single-family development regulations).

9.2.1 Residential Permitted Uses

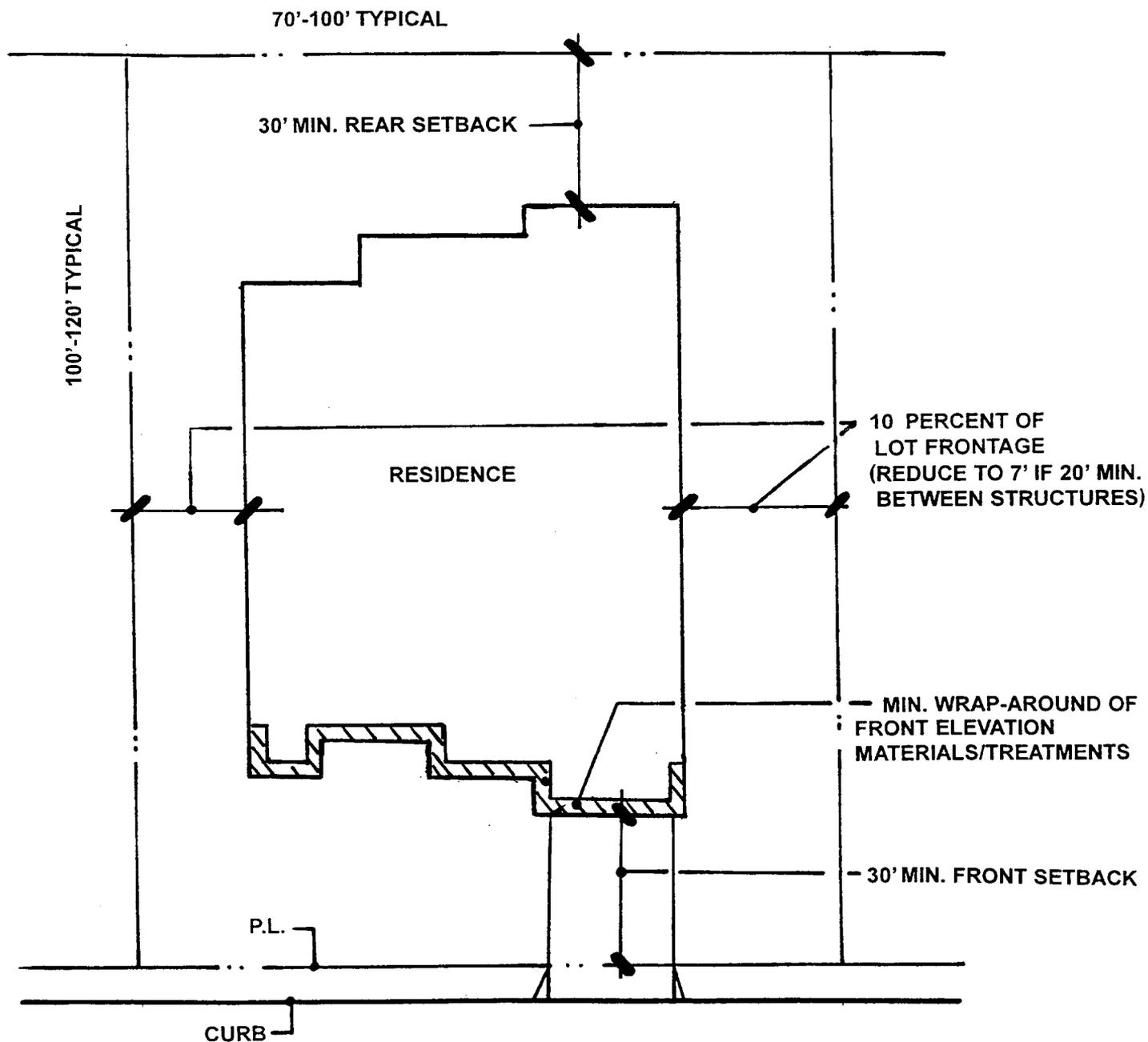
For the purposes of this Specific Plan, all uses permitted in the Specific Plan No. 2 Residential Planned Development Single Family (SP2-RPD-SF) and Residential Planned Development Multi-Family (SP2-RPD-MF) Zones, are as specified in Table 17.20.050 of Title 17 for the Residential Planned Development (RPD) Zone.

9.2.2 Single-Family Residential Site Development Standards

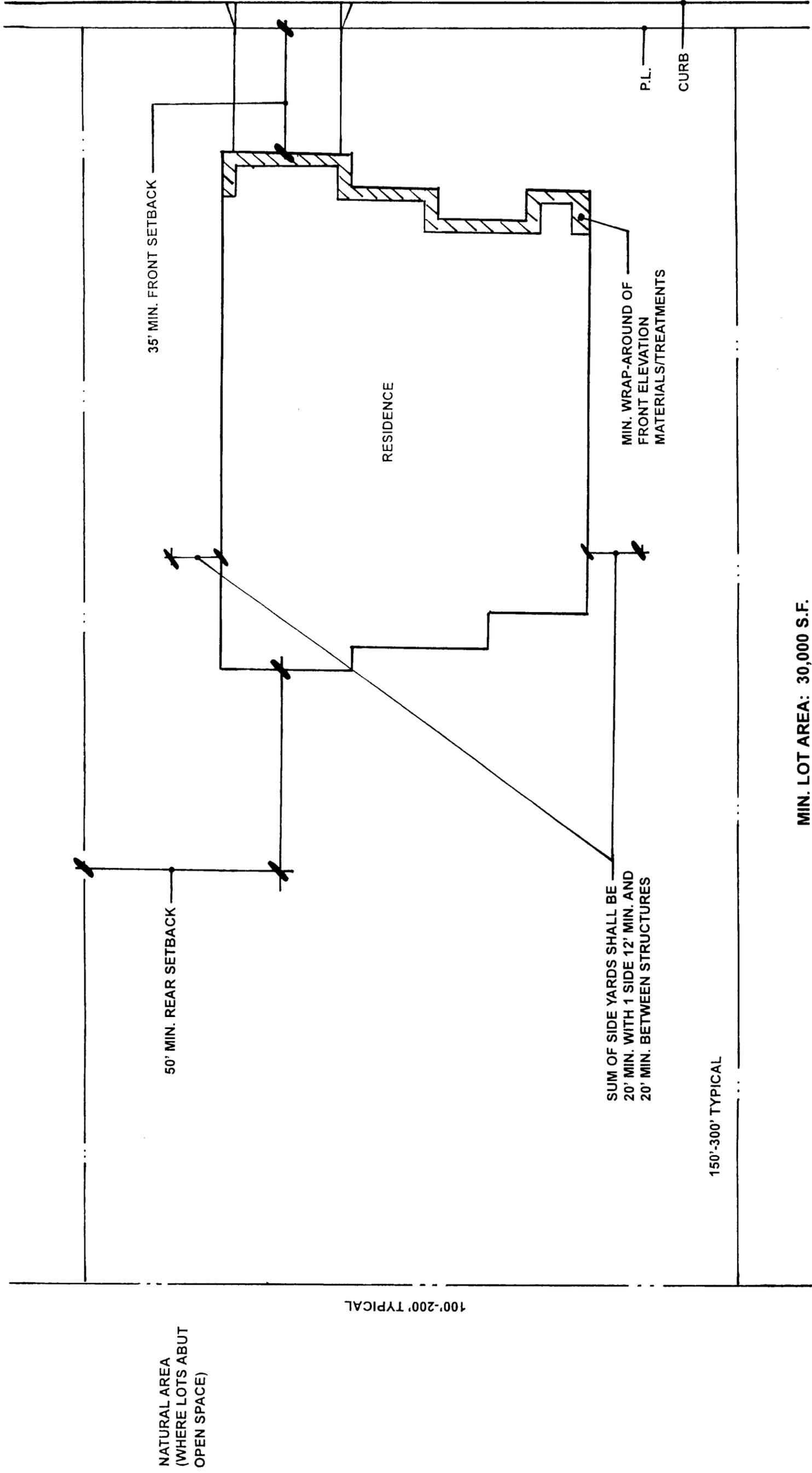
- A. **Specific Plan No. 2 Residential Planned Development Single-Family (SP2-RPD-SF) 1.3-2.5 du/ac Zone (See Exhibits 31 and 32 at the end of this Section)**
 - 1A. **Minimum Lot Area** 10,000 square feet
 - 2A. **Setbacks from property line.**
 - a. Front Setback minimum for 10,000 square foot lots is thirty (30) feet. The front setback minimum for 30,000 square foot lots is thirty five (35) feet. The front setbacks for the proposed single-family dwelling units shall be varied so as to provide visual diversity. There shall be a minimum of three (3) feet variation with a maximum variation of five (5) feet for the front setback between adjacent lots, with no more than two adjacent lots having the same front setback. Dwelling units constructed with garages having a curved or swing driveway, with the entrance to the garage facing the side property line, shall have a minimum front setback of fifteen (15) feet.

- b. Side yard setback minimum for a single-family dwelling unit on a 10,000 sq. ft. minimum lot is 10 percent of the lot frontage. However, the setback can be reduced to seven (7) feet if a twenty (20) foot separation is maintained between structures. For 30,000 sq. ft. minimum lot the sum of side yards shall be a minimum of 20 feet with a minimum side yard (1 side) of 12-foot for RV access, and a minimum of 20-foot separation between structures.
 - c. Rear Setback minimum for a single-family dwelling unit on a 10,000 sq. ft. minimum lot is thirty (30) feet, and on a 30,000 sq. ft. minimum lot is (50) feet; for an enclosed patio or open patio cover is ten (10) feet; for a second story deck or balcony is twenty (20) feet, and for an accessory structure is five (5) feet.
 - d. For projects located in Planning Area 8 no habitable structures shall be located closer than 200 feet from the north/west Specific Plan boundary.
- 3A. **Maximum height** shall be thirty-five (35) feet for dwelling units, fifteen (15) feet for accessory structures, and twelve (12) feet for a patio cover and second floor deck or balcony, not including railing height. No more than three (3) stories shall be permitted.
 - 4A. **Fences and walls** shall comply with the provisions of the Moorpark Municipal Code, with the exception that sound attenuation walls shall be constructed to a height as required by a City approved Noise Study for the Residential Planned Development Permit.
 - 5A. **Parking** shall comply with Chapter 17.32 of the City of Moorpark Municipal Code.
 - 6A. **Signage** shall comply with Chapter 17.40 of the City of Moorpark Municipal Code.
 - 7A. **Standards relating to animals** shall comply with Chapter 17.28.030 of the Moorpark Municipal Code.
 - 8A. **Eaves and window treatments and surrounds.** The eaves and window treatments and surrounds on all sides of a structure shall be consistent with the eaves and window treatments and surrounds on the front elevation.
 - 9A. **Wrap-around front elevation treatment.** The architectural style and treatment included along the front elevation of a single family unit shall continue along each side elevation until commencement of fencing or other architecturally feasible termination point as determined by the Residential Planned Development Permit approval body.
 - 10A. **Solar Panels.** They are not permitted on the front elevation of dwelling units if the panel may be seen from a public street.

NATURAL AREA
(WHERE LOTS ABUT OPEN SPACE)

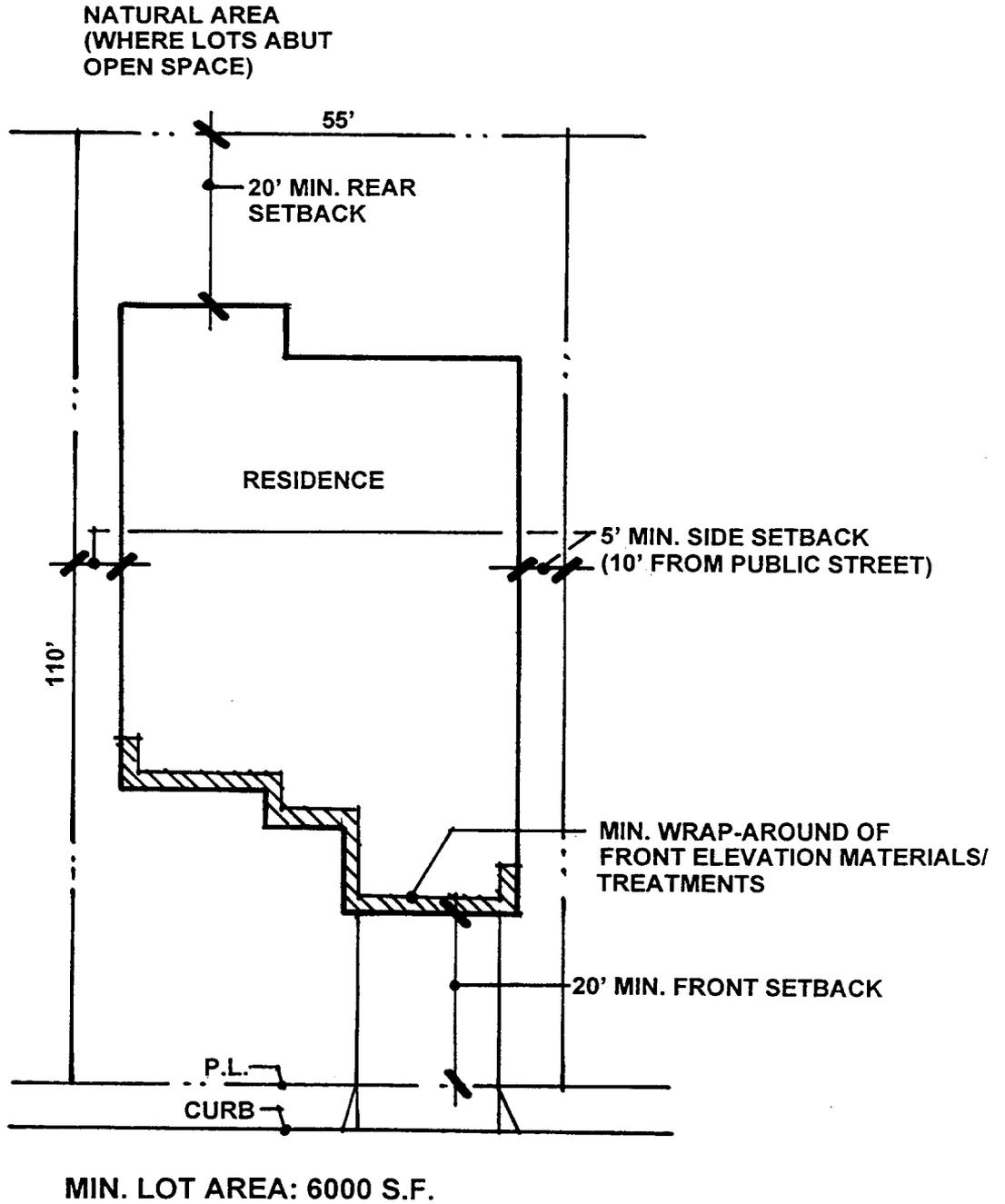


MIN. LOT AREA: 10,000 S.F.

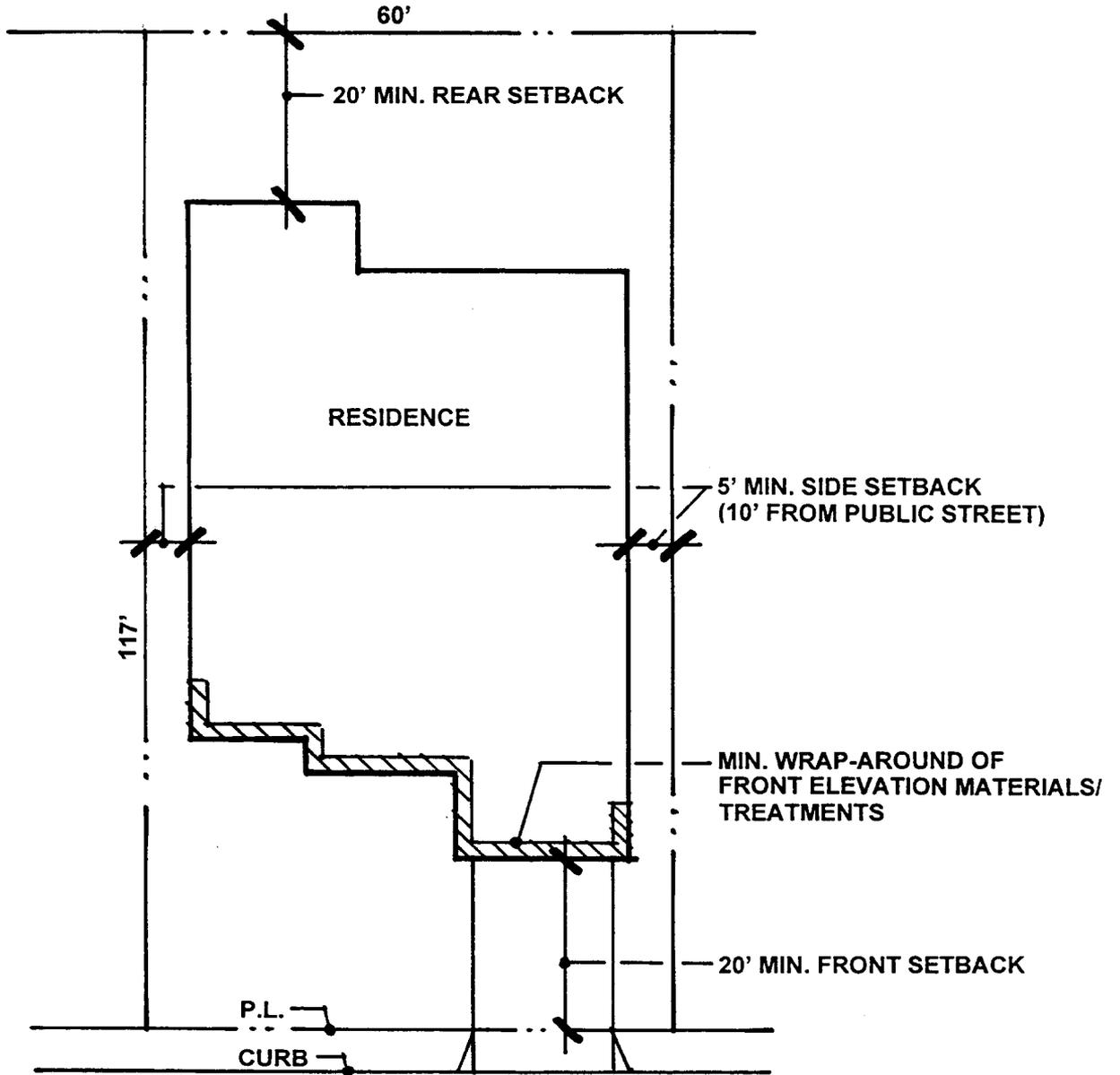


- B. **Specific Plan No. 2 Residential Planned Development Single-Family (SP2-RPD-SF) 2.5-6.0 du/ac Zone (See Exhibits 33, 34, and 35 at the end of this Section)**
- 1B. **Minimum Lot Area** 6,000 square feet
- 2B. **Setbacks from property line**
- a. Front Setback minimum is twenty (20) feet. The front setbacks for the proposed single-family dwelling units shall be varied so as to provide visual diversity. There shall be a minimum of three (3) feet variation with a maximum variation of five (5) feet for the front setback between adjacent lots, with no more than two adjacent lots having the same front setback. Dwelling units constructed with garages having a curved or swing driveway, with the entrance to the garage facing the side property line, shall have a minimum front setback of fifteen (15) feet.
 - b. Side Setback minimum for a single-family dwelling unit adjacent to a street is ten (10) feet, with the exception that the minimum side setback adjacent to Spring Road shall be twenty (20) feet.
 - c. Side Setback minimum for a single-family dwelling unit on an interior lot, other than for exceptions listed below, shall be five (5) feet. Side setback minimum for a second story deck or balcony is ten (10) feet.
 - d. Side Setback minimum for a two-story single-family dwelling unit on an interior lot larger than 7,000 square feet, with windows facing the adjacent property, is seven and one-half (7.5) feet, with not less than fifteen (15) feet between structures.
 - e. Rear Setback minimum for a single-family dwelling unit is twenty (20) feet, for an enclosed patio or open patio cover is ten (10) feet, for a second story deck or balcony is twenty (20) feet, and for an accessory structure is five (5) feet.
 - f. For projects on a hillside area, and where it can be clearly established that reduced setbacks will enhance preservation of natural terrain and reduced grading, front setbacks may be reduced by the approving authority to ten (10) feet as applied to the main portion of the dwelling. Garage setbacks shall normally be twenty (20) feet except for a side loaded garage where a minimum driveway depth of twenty (20) feet from the right-of-way edge shall be provided.
- 3B. **Maximum height** shall be thirty-five (35) feet for dwelling units, fifteen (15) feet for accessory structures, and twelve (12) feet for a patio cover and second floor deck or balcony, not including railing height. No more than three (3) stories shall be permitted.
- 4B. **Fences and walls** shall comply with the provisions of the Moorpark Municipal Code, with the exception that sound attenuation walls shall be constructed to a height as required by a City approved Noise Study for the Residential Planned Development Permit.

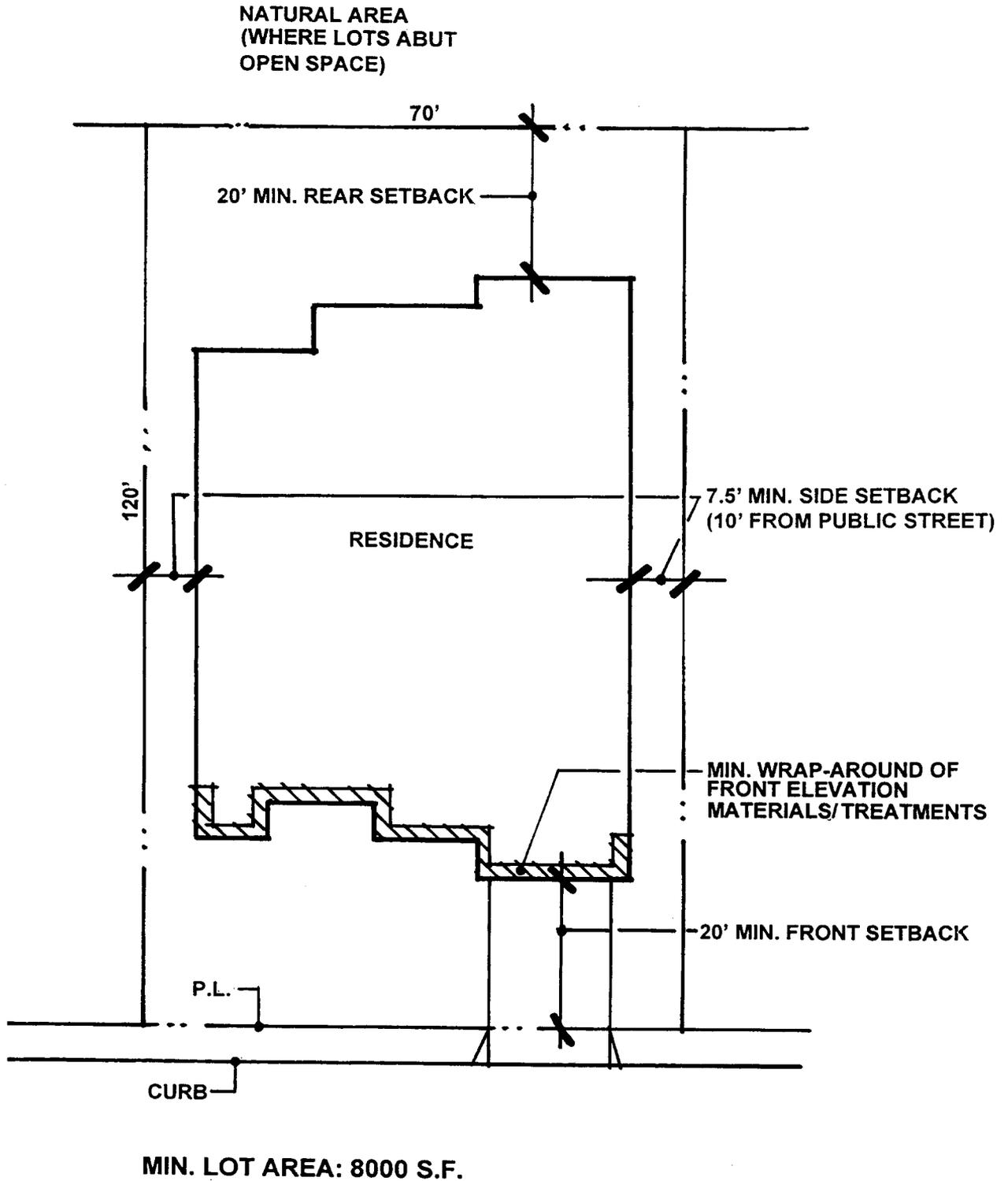
- 5B. **Parking** shall comply with Chapter 17.32 of the City of Moorpark Municipal Code.
- 6B. **Signage** shall comply with Chapter 17.40 of the City of Moorpark Municipal Code.
- 7B. **Standards relating to animals** shall comply with Chapter 17.28.030 of the Moorpark Municipal Code.
- 8B. **Recreational amenities.** Residential Planned Development Permit areas with Single-family lots that have an average size of less than 7,000 square feet shall include private recreational amenities such as, but not limited to the following: clubhouse, restrooms, swimming pool and spa, play apparatus, picnic shelter, barbecue area with seating, court game facilities (non-lighted), and multi-purpose fields. The types of amenities shall be reviewed and approved with the required Residential Planned Development Permit.
- 9B. **Eaves and window treatments and surrounds.** The eaves and window treatments and surrounds on all sides of a structure shall be consistent with the eaves and window treatments and surrounds on the front elevation.
- 10B. **Wrap-around front elevation treatment.** The architectural style and treatment included along the front elevation of a single family unit shall continue along each side elevation until commencement of fencing or other architecturally feasible termination point as determined by the Residential Planned Development Permit approval body.
- 11B. **Solar Panels.** They are not permitted on the front elevation of dwelling units if the panel may be seen from a public street.



NATURAL AREA
(WHERE LOTS ABUT
OPEN SPACE)



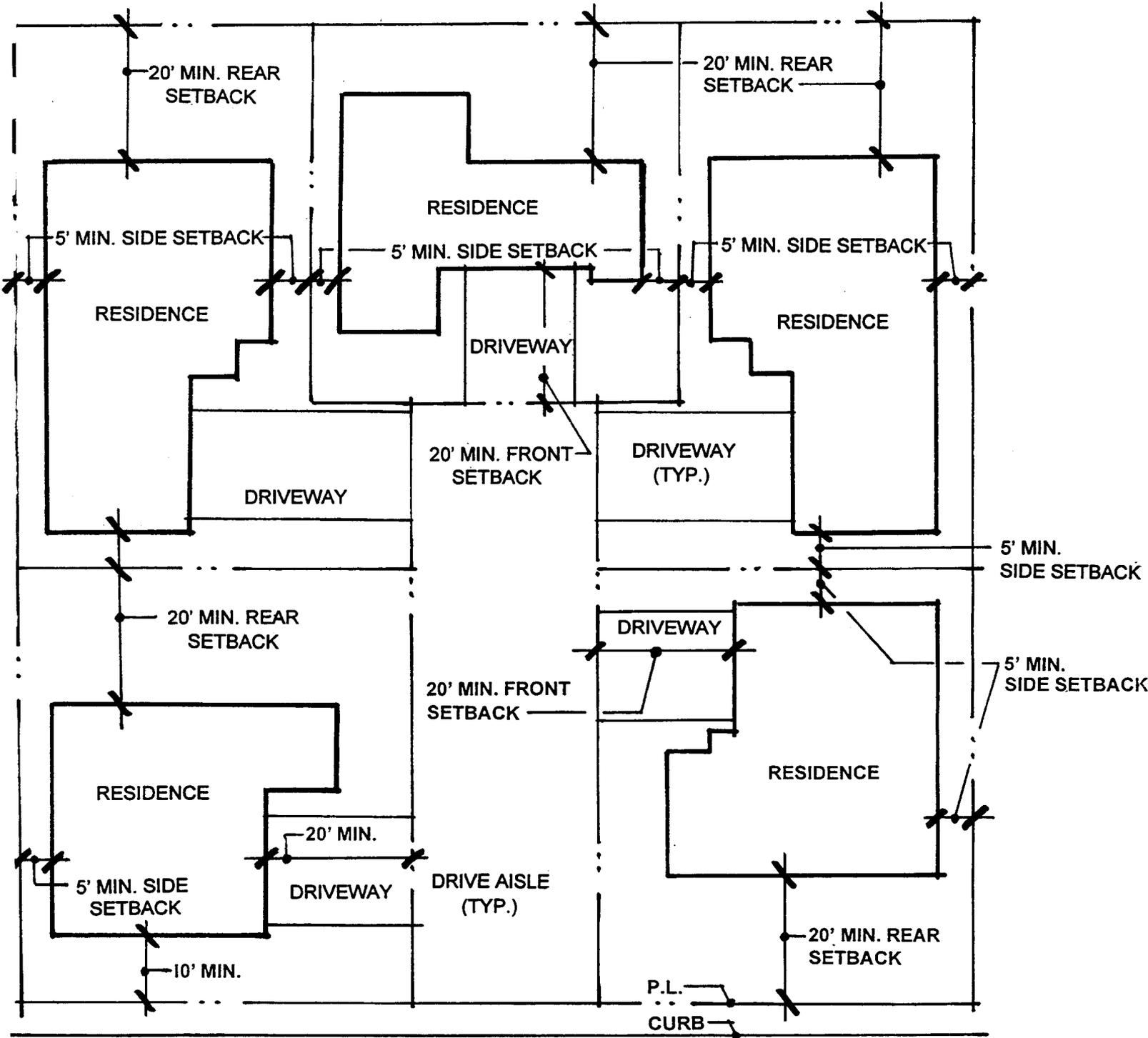
MIN. LOT AREA: 7000 S.F.



- C. **Specific Plan No. 2 Residential Planned Development Single-Family (SP2-RPD-SF) 6 du/ac Zone (See Exhibit 36 at the end of this Section)**
1. **Minimum Lot Area.** 3,500 square feet
 2. **Setbacks from property line.**
 - a. Front Setback minimum is twenty (20) feet. The front setbacks for the proposed single-family dwelling units shall be varied so as to provide visual diversity. There shall be a minimum of three (3) feet variation with a maximum variation of five (5) feet for the front setback between adjacent lots, with no more than two adjacent lots having the same front setback. Dwelling units constructed with garages having a curved or swing driveway, with the entrance to the garage facing the side property line, shall have a minimum front setback of fifteen (15) feet.
 - b. Side Setback minimum for a single-family dwelling unit adjacent to a street is ten (10) feet, with the exception that the minimum side setback adjacent to Spring Road shall be twenty (20) feet.
 - c. Side Setback minimum for a single-family dwelling unit on an interior lot, other than for exceptions listed below, shall be five (5) feet. Side setback minimum for a second story deck or balcony is ten (10) feet.
 - d. Side Setback minimum for a two-story single-family dwelling unit on an interior lot larger than 7,000 square feet, with windows facing the adjacent property, is seven and one-half (7.5) feet, with not less than fifteen (15) feet between structures.
 - e. Rear Setback minimum for a single-family dwelling unit is twenty (20) feet, for an enclosed patio or open patio cover is ten (10) feet, for a second story deck or balcony is twenty (20) feet, and for an accessory structure is five (5) feet.
 3. **Maximum height** shall be thirty-five (35) feet for dwelling units, fifteen (15) feet for accessory structures, and twelve (12) feet for a patio cover and second floor deck or balcony, not including railing height.
 4. **Fences and walls** shall comply with the provisions of the Moorpark Municipal Code, with the exception that sound attenuation walls shall be constructed to a height as required by a City approved Noise Study for the Residential Planned Development Permit.
 5. **Parking** shall comply with Chapter 17.32 of the City of Moorpark Municipal Code.
 6. **Signage** shall comply with Chapter 17.40 of the City of Moorpark Municipal Code.

7. **Recreational amenities.** Residential Planned Development Permit areas with Single-family lots that have an average size of less than 7,000 square feet shall include private recreational amenities such as, but not limited to the following: clubhouse, restrooms, swimming pool and spa, play apparatus, picnic shelter, barbecue area with seating, court game facilities (non-lighted), and multi-purpose fields. The types of amenities shall be reviewed and approved with the required Residential Planned Development Permit.
8. **Eaves and window treatments and surrounds.** The eaves and window treatments and surrounds on all sides of a structure shall be consistent with the eaves and window treatments and surrounds on the front elevation.
9. **Wrap-around front elevation treatment.** The architectural style and treatment included along the front elevation of a single family unit shall continue along each side elevation until commencement of fencing or other architecturally feasible termination point as determined by the Residential Planned Development Permit approval body.

MOORPARK SPECIFIC PLAN NO. 2
City of Moorpark, California



MIN. LOT AREA: 3500 S.F.

EDAW

Exhibit 36

Conceptual Plat Plan: 3,500 s.f.

9.2.3 Multi-Family Residential Site Development Standards (Affordable Housing)

- A. **Specific Plan No. 2 Residential Planned Development Multi-Family (SP2-RPD-MF) 8.0 - 15.5 du/ac Zone**
1. **Setbacks from property line.** The minimum and average landscaped setbacks from the property lines shall be as identified below and shall be densely planted. Permitted installations within the required landscaped setbacks include garden walls, entry statements (decorative block/stucco, boulders, signage, architectural statements), except for sidewalks, front-to-back driveways, underground utilities, lighting, and similar fixtures. Buildings, drive aisles, and parking are not permitted within required landscaped setbacks.
 - a. **Front Setback.** Minimum landscaped setback of 20 feet with an average landscaped setback of twenty-four (24) feet from any primary or secondary arterial street and twenty (20) feet from any collector, minor or cul-de-sac street, public or private.
 - b. **Side Setback.** Minimum landscaped setback of fifteen (15) feet, adjacent to a zoning district. The setback requirement adjacent to a roadway is as identified for the front setback.
 - c. **Rear Setback.** Minimum landscaped setback of fifteen (15) feet, adjacent to a zoning district. The setback requirement adjacent to a roadway is as identified for the front setback.
 2. **Separation between buildings.** The minimum required separation between buildings containing two (2) or more dwelling units shall be twenty (20) feet where doors or windows face this area. The minimum separation for accessory and other buildings shall be fifteen (15) feet.
 3. **Maximum height** shall be thirty-five (35) feet for dwelling units, fifteen (15) feet for accessory structures, and twelve (12) feet for a patio cover. No more than three (3) stories shall be permitted.
 4. **Fences and walls** shall comply with the provisions of the Moorpark Municipal Code, with the exception that sound attenuation walls shall be constructed to a height as required by a City approved Noise Study for the Residential Planned Development Permit.
 5. **Parking** shall comply with Chapter 17.32 of the City of Moorpark Municipal Code.
 6. **Signage** shall comply with Chapter 17.40 of the City of Moorpark Municipal Code.
 7. **Open space.** In addition to any other open space requirement of Specific Plan No. 2, a multi-family residential project shall include the following amounts of open space:
 - a. **Private Open Space.** The following private open space shall be provided. Private open space shall be accessible from the dwelling unit served and not from other units.

- 1) Two, Three, and Four Dwelling Unit Buildings. Each dwelling unit shall be provided with a usable private open space area in the form of a courtyard, patio or garden, or combination thereof, with a minimum area of four hundred fifty (450) square feet and a minimum dimension of fifteen (15) feet.
 - 2) Other Multi-family Dwelling Units. Ground floor units shall be provided with a private (walled) patio, balcony or courtyard with a minimum area of one hundred fifty (150) square feet. Units located above ground floor units shall be provided one or two balconies with a combined minimum area of one hundred fifty (150) square feet.
- b. Common Usable Open Space. All multi-family developments, with the exception of duplexes, shall provide not less than thirty (30) percent of the net site area as common useable open space.
- 1) Common Usable Open Space Standards. Common usable open space shall meet the following requirements:
 - Usable open space areas shall not include rights-of-way, vehicle parking areas, areas adjacent to or between structures less than fifteen (15) feet apart, required front setbacks, private open space areas, or areas with slopes exceeding fifteen (15) percent;
 - Common open space areas shall be planted with turf or ground cover, or other landscaping material which will control dust;
 - Common open space areas shall be screened from streets and adjacent sites;
 - Common open space areas shall not be obstructed except by improvements that enhance usability, such as required recreational amenities, fountains, sunshades, and plantings; and
 - Common open space areas shall not be covered by more than fifty (50) percent by a building overhang or balcony.
8. **Recreational amenities.** RPD-MF Zone projects shall provide recreational amenities such as, but not limited to, the following: clubhouse, restrooms, swimming pool and spa, play apparatus, picnic shelter, barbecue area with seating, court game facilities (non-lighted), and multi-purpose fields. The types of amenities shall be reviewed and approved with the required Residential Planned Development Permit.
9. **Pedestrian circulation.** An interior walkway system with a minimum width of four (4) feet shall be incorporated into the project for the purpose of providing direct access to and from all individual dwelling units, trash storage areas, parking areas, recreational areas and other outdoor common spaces.

10. **On-site storage.** Each dwelling unit shall be provided a minimum of four hundred (400) cubic feet of private, enclosed, lockable storage space within the garage, carport, or immediately adjacent to the dwelling unit.
11. **Laundry facilities.** Common laundry facilities of sufficient number and accessibility consistent with the Uniform Building Code shall be provided or each dwelling unit shall be plumbed and wired for a washing machine and dryer.
12. **Sloar Panels.** They are not permitted on the front elevation of dwelling units if the panel may be seen from a public street.

9.3 Open Space Development Regulations

It is the intent of these regulations to promote the preservation of the natural landforms of Specific Plan No. 2 area by allowing only limited improvements within private open space areas and prohibiting all development (including structures and trails) within the natural open space, except that required for remedial grading and arterial roadway construction.

9.3.1 Specific Plan No. 2 Private Open Space (SP2-POS) Zone Permitted Uses

For the purposes of this Specific Plan, the following is a listing of the permitted uses allowed within the Private Open Space Zone.

- A. Trails. As shown on Exhibit 12 of Specific Plan No. 2.
- B. Signage. Identifying trail use restrictions only.

9.3.2 Private Open Space Development Regulations

- A. Structures shall not be allowed in the (SP2-POS) zone.
- B. Fences and walls shall comply with the provisions of the Moorpark Municipal Code, with the exception that sound attenuation walls shall be constructed to a height as required by a City approved Noise Study for the Residential Planned Development Permit.

9.3.3 Specific Plan No. 2 Natural Open Space (SP2-NOS) Zone Development Regulations

The Natural Open Space Zone areas shall be reserved for visual open space and are planned to be part of a Habitat Conservation Plan (HCP), as defined in the EIR document, Appendix J. These areas shall remain ungraded and shall not be developed, with the exception of roadway and infrastructure improvements necessary for the construction of Spring Road. The Natural Open Space Zone areas impacted by grading for Spring Road shall be re-contoured and revegetated to the standards as defined in the Design Guidelines, Section 8, of Specific Plan No. 2. Subsequent revegetation and/or maintenance activities within the Natural Open Space areas shall be limited to those activities, as prescribed in the HCP, Appendix J of the EIR.

9.4 Public Institutional (I) Zone Development Regulations

It is the intent of this section to provide standards to direct the development of Public Institutional Uses within the Specific Plan No. 2 property, consistent with the Specific Plan land use plan designation for the school and park sites.

9.4.1 Specific Plan No. 2 Public/Institutional (SP2-I) Permitted Uses

For the purposes of this Specific Plan, all uses permitted in the Specific Plan No. 2 Public Institutional Zone are as specified in Tables 17.20.050 and 17.20.060 of Title 17 for the Institutional Zone. A public elementary and secondary school are permitted uses in the Specific Plan No. 2 Public Institutional Zone that do not require a permit from the City, because such uses are exempt from the City's zoning regulations.

9.4.2 Public/Institutional Site Development Standards

The following standards shall apply to private development only, and shall not be applicable to a public school or a public park within the Specific Plan No. 2 area:

- A. **Landscape coverage** shall be a minimum of ten (10) percent of the overall lot area and a minimum of ten (10) percent of any parking lot; pursuant to Title 17, Section 17.32.100 of the Moorpark Municipal Code.
- B. **Minimum setbacks from arterial roadways** shall be thirty (30) feet, front; and ten (10) feet, side.
- C. **Minimum setbacks from collectors and residential streets** shall be twenty (20) feet, front; and ten (10) feet, side.
- D. **Setbacks from residential zones** shall be fifteen (15) feet.
- E. **Maximum structure height** shall be thirty-five (35) feet or forty-five (45) feet with Planning Commission or City Council Conditional Use Permit approval.
- F. **Fences and walls** shall comply with the provisions of the Moorpark Municipal Code, with the exception that sound attenuation walls shall be constructed to a height as required by a City approved Noise Study for a Conditional Use Permit.
- G. **Parking** shall comply with Chapter 17.32 of the City of Moorpark Municipal Code.
- H. **Signage** shall comply with Chapter 17.40 of the City of Moorpark Municipal Code.

9.5 Right-of-Way (R/W) Zone Development Regulations

It is the intent of this section to provide standards to direct the development of Right-of-Way Zone uses within the Specific Plan No. 2 property, consistent with the Specific Plan land use plan designation for the State Routes 23 and 118 right-of-way reservation.

9.5.1 Specific Plan No. 2 Right-of-Way (SP2-R/W) Zone Permitted Uses

For the purposes of Specific Plan No. 2, the Right-of-Way Zone has been reserved for future State Routes 23 and 118 and/or interim bypass arterial roadways, as well as community arterials and collector streets, and no other uses are permitted within the right-of-way reservation areas. The Right-of-Way Zone areas impacted by grading for Specific Plan No. 2 development shall be re-contoured and re-vegetated to the standards as defined in the Design Guidelines, Section 8, of Specific Plan No. 2.

9.6 Setbacks for Plugged, Abandoned Oil Wells

A. Abandoned Once Producing Oil Wells

Abandoned once producing oil well setbacks will be required in addition to compliance with all procedures as outlined in Construction Project Site Review and Well Abandonment Procedures document from Department of Conservation Division of Oil, Gas, and Geothermal Resources. The required setbacks are 10 feet from the abandoned once-producing oil well to the structure and/or property line, limited to any two adjacent sides of the well, and within 50 feet from the property line and/or structure on the third side of the well. The fourth side of the well will always have an open access.

B. Abandoned Non-Producing Oil Wells

Structures can be built over abandoned non-producing oil wells; however, the non-producing well will require to be reabandoned using current standards and shall include a vent system as described in the Construction Project Site Review and Well Abandonment Procedures document from the Department of Conservation Division of Oil, Gas, and Geothermal Resources.

9.7 Urban-Wildland Interface

All buildings and structures shall be constructed in accordance with the City's adopted Building Code and shall incorporate site planning criteria, landscaping and vegetation management techniques consistent with Section 8.3.4 of this document and the Ventura County Fire Protection District's Fire Hazard Reduction Program. The project must incorporate plant materials as discussed in Section 8.3.4 of this Specific Plan.

9.8 Hillside Management

All Specific Plan No. 2 development projects within hillside areas, as defined in Chapter 17.38 of Title 17 of the City Municipal Code, shall comply with all of the procedures, standards, and findings contained in Chapter 17.38, unless the City Council determines that certain procedures, standards, and findings are not applicable to Specific Plan No. 2 development projects, consistent with the exemptions provisions contained in Section 17.38.030 of Chapter 17.38.

10.0 IMPLEMENTATION AND ADMINISTRATION

10.1 Purpose and Intent

The purpose of this section is to outline the measures including phasing, regulations, and programs necessary to implement and administer the development proposed by Specific Plan No. 2. It is the intent of this section to demonstrate that the appropriate phasing, permits, maps, plans, and agreements are in place to guide the future development of Specific Plan No. 2. This section would serve the following purposes:

- Provide an overall discussion of phasing and financing for community facilities including circulation improvements, domestic water, urban runoff and flood control facilities, sewage disposal facilities, educational facilities and parks.
- Provide for implementation and administration of the Specific Plan to ensure the orderly development of the property in compliance with the City of Moorpark Municipal Code and Subdivision Ordinance.

10.2 Implementation

The Implementation subsection includes a description of the proposed Specific Plan No. 2 phasing, as well as a reference to the financing of necessary future public facility improvements outlined in Sections 5.0 through 7.0 of this document. Additionally, the section is provided to define the relationship between the Specific Plan and other City Codes and the process for obtaining approval of development projects.

10.2.1 Proposed Phasing

Buildout of Specific Plan No. 2 is proposed to occur over a five-year period in two phases. For a detailed discussion of the proposed phasing of infrastructure and public facility improvements, refer to Sections 5.0, 6.0, and 7.0. While real estate market conditions would ultimately dictate the pace of development, current market conditions indicate a five-year buildout of Specific Plan No. 2 is reasonable. Please refer to Table B for anticipated phasing of development.

- A. Phase I consists of development in Planning Areas 1,2,3,4,5,6 and 7 consisting of 340 RPD-SF units, 130 RPD-MF units, middle school and 7.0 acre park with related improvements as follows:
1. Extension of Spring Road with full improvements from Charles Street approximately 5,000 lineal feet to the intersection with "C" Street. Further extension north of Spring Road with half street improvements approximately 1,500 lineal feet to the intersection with Walnut Canyon Road.
 2. Connection to the 944 water pressure zone.
 3. Extension of sewer mains off-site to connect with existing system in Spring Road
 4. Extension of "C" Street from Spring Road approximately 1,800 lineal feet to within approximately 600 feet of the eastern boundary.

**TABLE B
PHASING PLAN**

PHASE	YEAR	PLANNING AREA	CATEGORY	DENSITY/GROSS AREA	DWELLING UNITS
I	1	1	RPD-SF	16.0 AC	96
I	1	2	RPD-SF	18.3 AC	77
I	1	7	SCHOOL	22.0 AC	N/A
I	2	3	RPD-SF	22.0 AC	84
I	2	4	RPD-SF	24.4 AC	83
I	3	5	RPD-MF	8.5 AC	130
I	3	6	PARK	7.0 AC	N/A
II	4	9	RPD-SF	39.1 AC	91
II	5	8	RPD-SF	28.0 AC	37

Source: Morrison-Fountainwood-Agoura

Note: Planning Areas 10-17 not shown as they contain natural and private open space.

5. Construction of Phase I related storm drain improvements and storm retention improvements as required.
- B. Phase II consists of development in Planning Areas 8 and 9 consisting of 128 RPD-SF units, with related improvements as follows:
 1. Construction of all necessary water related improvements to connect to the 1180 pressure zone.
 2. Extension of sewer and storm related improvements as required for Phase II dwelling occupancies.
 3. Construction of “B” Street in its entirety.

10.2.2 Infrastructure and Community Facilities Financing

A complete discussion of infrastructure and community facilities financing is provided in Sections 5.0, 6.0, and 7.0.

10.2.3 Specific Plan Implementation

- A. The provisions of the Specific Plan would be implemented through the normal administrative and development review procedures contained in the City of Moorpark Subdivision Ordinance and Municipal Code, including Title 17, Zoning .
- B. All applicable City standard conditions of approval for development projects would be imposed on Specific Plan No. 2 development projects.

10.3 Administration

This Administration subsection provides a description of the Specific Plan Amendment procedures, and Specific Plan Administrative Adjustment procedures.

10.3.1 Specific Plan Amendment Procedures

- A. In accordance with the California Government Code Sections 65453 through 65454, a Specific Plan shall be amended in the same manner as a general plan, except that a Specific Plan may be amended as often as deemed necessary by the legislative body.
- B. An amendment to Specific Plan No. 2 shall be processed in the same manner as the initial adoption of the Specific Plan.
- C. A Specific Plan Amendment shall be consistent with the City's General Plan.
- D. Density Transfers and Planning Area Boundary Adjustments are defined in Section 10.3.2 as a Specific Plan Administrative Adjustment and are not considered a Specific Plan Amendment.

10.3.2 Specific Plan Administrative Adjustment Procedures

A Specific Plan Administrative Adjustment is a Planning Unit boundary and acreage adjustment or a density transfer that meets all of the conditions set forth in this section. An application request for a Specific Plan No. 2 Administrative Adjustment shall be accompanied by an exhibit showing the location(s) of the planning area(s) that would be affected by the proposed boundary / acreage adjustment and/or density change(s), and such application shall also include any other information as deemed necessary by the Director of Community Development. Administrative Adjustments for Specific Plan No. 2 may be approved by the City Council in accordance with the following requirements.

A. Planning Unit Boundary and Acreage Adjustment

Planning Unit boundaries and the gross acreage for each Planning Unit are shown on Exhibit 4, Land Use Plan. Precise Planning Unit boundaries shall be established by the recordation of a Final Tract Map. Adjustments to Planning Unit boundaries depicted on Exhibit 4 may be approved by the City Council in conjunction with approval of the Tentative Tract Map, subsequent subdivision map, or modification of a subdivision map. Planning Area boundary and acreage adjustments may be approved by the City Council, upon a determination that the adjustment meets all of the following conditions:

- 1. An adjustment to a Planning Unit boundary would not exceed 10 percent of the acreage shown on Exhibit 4, would involve only adjacent Planning Units, would not result in a change to the total number of Planning Units, and would not result in a net reduction in the total acreage of Private Open Space or Natural Open Space land uses.
- 2. Total dwelling units and overall development area as approved in the Specific Plan would not be exceeded.
- 3. Projected demands on parks, schools, and community facilities would not be significantly affected.

4. Grading and landform alteration would not significantly differ from that previously approved for the Specific Plan.
 5. The overall design and visual quality of the planned community would not be significantly affected.
 6. No new significant environmental impacts would result.
- B. Density Transfer

Exhibit 5, Land Use Summary, sets forth the land use designation, density range, maximum gross density, and planned number of total dwelling units for each residential Planning Unit. The City Council may approve a change in density for a Planning Unit, in conjunction with approval of a Final Tract Map or a Residential Planned Development (RPD) Permit or modification of a RPD Permit, upon a determination that the transfer meets all of the following conditions:

1. An adjustment to a Planning Unit boundary would not exceed 10 percent of the acreage shown on Exhibit 4, would involve only adjacent Planning Units, would not result in a change to the total number of Planning Units, and would not result in a net reduction in the total acreage of Private Open Space or Natural Open Space land uses.
2. Total dwelling units and overall development area, as approved in the Specific Plan, would not be exceeded.
3. Projected demands on parks, schools, and community facilities would not be significantly affected.
4. Grading and landform alteration would not significantly differ from that previously approved for the Specific Plan.
5. The overall design and visual quality of the planned community would not be significantly affected.
6. No new significant environmental impacts would result.
7. The transfer of dwelling units between Planning Units would not result in a deviation from the density range per acre for the applicable land use designation and zone district.

11.0 GENERAL PLAN CONSISTENCY

11.1 General Plan Consistency

The Specific Plan is consistent with the General Plan and serves to implement all aspects of the General Plan relevant to the designated areas. A Specific Plan is a plan adopted either by ordinance or resolution for a particular area of land. A Specific Plan may contain its own development standards (zoning), and thus provides greater flexibility in the distribution of the land uses.

Specific Plan No. 2 is intended to be supportive of, and consistent with, the goals and policies of the Moorpark General Plan. It has been written to implement the Specific Plan designation assigned to Specific Plan No. 2 area by the General Plan Update of 1992. The italicized text, which follows, is taken directly from the City of Moorpark Land Use Element. Following the Land Use Element goals and policies are Specific Plan No. 2 implementation policies which relate to the General Plan. Exhibit 37 depicts land use designations from the City of Moorpark Land Use Element.

11.1.1 Land Use Element (Adopted May 13, 1992)

Effectively, the land use element has the broadest scope of the elements required by the state. Since it regulates how land is to be utilized, it integrates and synthesizes most of the issues and policies contained in all other plan elements.

The goals and policies of the General Plan function as a hierarchy and provide the basis for decision making regarding the City's long-term physical development ..the Land Use Element Goals and Policies focus on the following primary concerns:

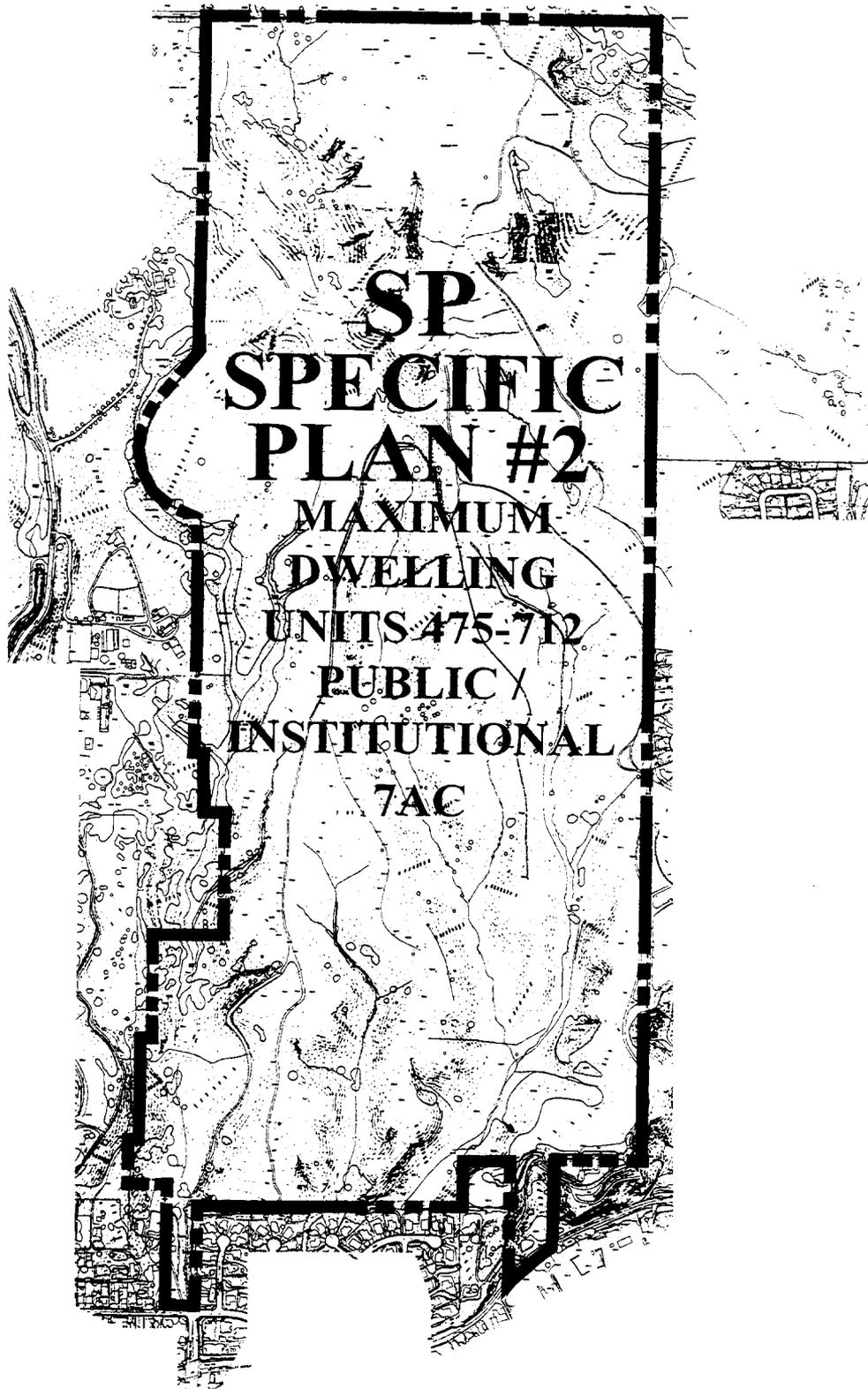
- *Balanced community growth patterns*
- *Land use compatibility*
- *Maintaining suburban rural community character*
- *Revitalization of the downtown area*
- *Preservation of important natural features, agricultural areas, and visually prominent hillside areas.*
- *Overall intensity and density of residential land uses decreases as distance from arterials and commercial shopping areas increases.*

Growth and Population Goals

1. *Attain a balanced City growth pattern which includes a full mix of land uses.*
2. *Establish a logical Sphere of influence.*

Specific Plan No. 2 Property Implementation

1. Specific Plan No. 2 land use plan provides for a balance of land uses throughout the community by providing residential, institutional, school, open space, and recreational uses.
2. Specific Plan No. 2 is located within the Moorpark City Urban Limits.



Residential Development Goals

3. *Provide a variety of housing types and opportunities for all economic segments of the community.*
4. *Promote upgrading and maintenance of existing housing.*
5. *Develop new residential housing which is compatible with the character of existing individual neighborhoods and minimizes land use incompatibility.*

Specific Plan No. 2 Property Implementation

3. Specific Plan No. 2 would provide a range of housing types to meet the varied housing needs within the community. The Specific Plan proposes a variation of residential product types, lot sizes and designs, as well as an affordable housing component.
4. Specific Plan No. 2 site is currently undeveloped.
5. Specific Plan No. 2 would provide housing opportunities which are compatible with the rural nature of Moorpark. Community design would ensure that land uses within the area would be compatible with surrounding on- and off- site land use designations through the provision of appropriate land use transitions.

Specific Plan Area Goals

6. *Encourage the use of Specific Plans in the undeveloped areas of the community.*

Specific Plan No. 2 Property Implementation

6. The area is designated as Specific Plan No. 2 in the Moorpark General Plan Land Use Element. This Specific Plan document is consistent with Section 5.2 of the Land Use Element, which indicates the type, location and intensity of uses determined appropriate for Specific Plan No. 2 area.

Commercial Development Goals

7. *Provide for a variety of commercial facilities which serve community residents and meet regional needs.*
8. *Provide for new commercial development which is compatible with surrounding land uses.*
9. *Promote the revitalization of the downtown commercial core (Moorpark Avenue area, Walnut Street, Bard Street, Magnolia Avenue, and High Street).*

Specific Plan No. 2 Property Implementation

7. No commercial uses are planned for Specific Plan No. 2. Given the close proximity of the Specific Plan area to the downtown, and the City's desire to maintain a viable downtown, community residents would utilize the downtown commercial core areas.
8. No commercial uses are planned for Specific Plan No. 2.

9. The development of Specific Plan No. 2 would not negatively affect the downtown area and may help promote downtown revitalization.

Industrial Development Goals

10. *Encourage a diversity of industrial uses which are located and designed in a compatible manner with surrounding land uses.*

Specific Plan No. 2 Property Implementation

10. No industrial uses are planned for Specific Plan No. 2, consistent with Section 5.2 of the Land Use Element.

Agricultural Goals

11. *Identify and encourage the preservation of viable agricultural resources in the City and its Area of interest.*

Specific Plan No. 2 Property Implementation

11. Specific Plan No. 2 does not contain areas designated as prime, statewide importance, unique, or local importance farmland.

Public Facility and Service Goals

12. *Ensure that a full range of public facilities and services are provided to meet the needs of the community.*

Specific Plan No. 2 Property Implementation

12. A full range of public facilities and services would be provided compatible with the nature of growth within the City of Moorpark. Development would be phased consistent with the availability of essential services.

Economic Development and Employment Goals

13. *Achieve a well-balanced and diversified economy within the City which provides a variety of economic and employment opportunities.*

Specific Plan No. 2 Property Implementation

13. Specific Plan No. 2 is a planned community which would provide a variety of housing options, educational, recreational, park, and institutional facilities. The community would contribute to the economic well-being of the City of Moorpark through its balance of land uses and the taxes that would be generated.

Preservation of Environmental Quality Goals

14. *Establish land uses and development intensities which are compatible with scenic and natural resources and which encourage environmental preservation.*
15. *Maintain a high quality environment that contributes to and enhances the quality of life and protects public health, safety and welfare.*

Specific Plan No. 2 Property Implementation

14. The land use plan for Specific Plan No. 2 Property has been designed with cluster development which preserves natural features, such as the deep arroyos and steep hillside areas, and enables the preservation of natural and rural landscape areas.
15. The high quality of the natural and scenic environment would be maintained through the dedication of private open space preserves and the adoption of appropriate development standards.

Community Appearance Goals

16. *Enhance and maintain the suburban/rural identity of the community.*
17. *Enhance the physical and visual image of the community.*
18. *Provide for and promote the revitalization of visually degraded landscaping, building facades, and deteriorated buildings in the community.*

Specific Plan No. 2 Property Implementation

16. Specific Plan No. 2 design intent is to create compatibility with the rural nature of Moorpark. The overall density of Specific Plan No. 2 would be primarily low density with clustering of development to encourage harmony with the surrounding area. Hillside development standards may be adopted to encourage the preservation of significant hillsides as prominent visual features to the extent feasible.
17. Specific Plan No. 2 would be a master-planned community. It would contain a range of housing options, recreation facilities, and community services. Community design criteria would be established, promoting a thematic approach to knit the entire community together.
18. Specific Plan No. 2 Specific Plan No. 2 is currently undeveloped; it would not involve revitalization of existing uses and buildings.

11.1.2 Specific Plan Study Area

The City of Moorpark, in its 1992 General Plan Update, designated certain portions of the City as Specific Plan areas. The site was designated as Specific Plan No. 2. The following is a discussion of the Moorpark General Plan information pertaining to Specific Plan No. 2. (Moorpark General Plan - Land Use Element, May 13, 1992, pages 30-32).

Specific Plan No. 2 consists of approximately 445 acres; it is generally vacant open space characterized by steep hillside terrain currently designated as open space.

The City identified a number of development issues which are to be addressed during the Specific Plan process; these include:

Topography - An analysis of the existing steep hillsides should be conducted and grading on steeper slopes should be evaluated in relation to the City's grading policy for slopes greater than 20 percent.

Hydrology - An evaluation of existing drainage courses, surface runoff, potential flood hazards, and other hydrological constraints should be conducted.

Viewshed - The visual importance of hillside horizon lines/prominent ridge lines within Specific Plan No. 2, which can be seen from surrounding areas, should be evaluated.

Biological Resources - The significance of biological resources which may occur onsite should be assessed.

Archaeology - Archaeological resources which may exist within the Specific Plan area should be analyzed.

Public Services/Infrastructure - Provisions for water, sewer gas, and electric service and other community services, such as fire stations, libraries, and schools should be made during the Specific Plan process.

Parks - An evaluation of required park land dedication, consistent with the City Municipal Code and General Plan requirements, should be conducted.

Circulation - Relationships to topography, viewsheds and integration with both the conceptual future freeway alignments for SR-118 and SR-23 and future Broadway extension, should be considered in the design of the circulation system, and provisions made for roadway connections identified in the City's Circulation Plan.

Proposed Land Uses - The number of dwelling units for Specific Plan No. 2 is identified as 475. The number of units may be increased when public improvements, public services and/or financial contributions which are of substantial public benefit to the community are made. The maximum number of dwelling units may then be increased to 712.

Specific Plan No. 2 Property Implementation

This Specific Plan addresses all of the items identified in this section of the General Plan Land Use Element, pages 30-32.

Specific Plan No. 2 contains a proposal for 598 dwelling units because of the public benefits which would be realized at completion of this development.

These public benefits include:

- May increase potential for improved economic viability at High Street due to added adjacent residential customers
- Permanent common open space, more than 25 percent requirement (see following Section 11.1.3)
- 49.7 acres of dedicated right-of-way for future Bypass Arterials consistent with City's Circulation Element
- 40.4 acres of roadway connections for City-wide regional circulation
- habitat enhancement within the private open space areas
- provision of 22.0-acre school site
- provision of 7.0-acre neighborhood park
- A wealth of housing opportunities ranging from the affordable to the exclusive.
- An expanded tax base.

- Numerous job opportunities during construction.
- Network of hiking, equestrian, and bicycle trails connecting to off-site regional trail systems.
- A vision for hillside development sensitive to landforms based on the merits of an open space driven design.

11.1.3 Appendix A - Specific Plan Development Requirements

Land Use Plan

The City of Moorpark requires:

That a detailed land use plan be prepared indicating specific land use locations, type, intensities and other site characteristics and describing residential areas, commercial areas, recreation area, open space areas (minimum 25 percent), agricultural areas, communal facilities (including public school facilities), and any other proposed uses consistent with the standard range and mix of land uses assigned to each Specific Plan area. Specific Plan No. 2 statistical analysis should also be included which tabulates and summarizes land uses, acreage, and square footage.

Specific Plan No. 2 Specific Plan provides all of the above referenced information. Open space accounts for 38 percent of the site or 169.0 acres. This information is provided in Section 4.1.3 Open Space Land Uses.

Circulation Plan

The City requires:

Circulation components of land Use Plan (vehicular, pedestrian, bicycle, and equestrian) to be prepared addressing hierarchy, required improvements and development standards.

This information is provided in Section 5.0 Transportation/Circulation Plan of this document.

Infrastructure Plan

The City requires that:

Infrastructure system plans necessary to support the Land Use Plan be prepared to address improvement requirements for water facilities, wastewater facilities, drainage facilities, and other utilities.

These items are addressed in Sections 6.0 - Infrastructure Plan and 7.0 - Community Facilities Plan of this report.

Community Design

The City requires that:

A community design plan be prepared to illustrate the techniques proposed to enhance the overall community character. Community design plan components would include a conceptual landscape plan, architectural design guidelines (including architectural style, materials, colors, fencing, and walls, etc.), and a conceptual mass grading plan.

Community design plan components including a conceptual landscape plan are included in Section 8.0 - Design Guidelines. Architectural design guidelines are also contained in Section 8.0 - Design Guidelines, and the Grading Plan is found in Section 4.2 - Grading Plan.

Implementation Plan

The City requires that:

An implementation plan be prepared which identifies site development standards (including permitted uses, setbacks, height limitations, etc.), administrative procedures for plan modifications, and fiscal impact analysis.

These elements are contained in Section 9.0 - Development Regulations and Section 10.0 - Implementation and Administration.

Phasing Plan

The City requires that:

A phasing plan be prepared which identifies development stages and major infrastructure improvements required to service the stages of development and landscape improvement timing.

The phasing plan is included in Section - 10.1.1 Proposed Phasing.

Consistency Analysis

The City requires that:

A determination of consistency analysis between the general plan elements and proposed development activities be prepared.

Section 11.0 General Plan Consistency addresses this subject.

Conformance With Evaluation Criteria

A. Land Use Considerations

1. *Compatibility of development with surrounding area and land uses.*

This is addressed in Section 4.0 - Development Plan.

2. *Conformance with all adopted general plan elements.*

This is addressed in Section 11.0 - General Plan Consistency.

3. *Relationship of land uses within the Specific Plan area*

This is addressed in Section 4.0 - Development Plan.

4. *Circulation, utilities, and other infrastructure and public service needs.*

This is addressed by Sections 5.0 - Transportation/Circulation, 6.0 - Infrastructure Plan and 7.0 - Community Facilities.

B. Natural Resource/Topographic Considerations

These topics are addressed by Sections 4.2 - Grading Plan and 7.0 Community Facilities, as well as by the EIR that accompanies this document.

C. Environmental Considerations

These topics are addressed in the EIR that accompanies this document.

D. Economic Considerations

This topic is addressed in Section 10.1.2 Proposed Financing Plan.

11.1.4 Circulation Element (Adopted May 13, 1992)

The main purpose of this element is to designate a safe and efficient circulation system which promotes the movement of people and goods in and around the City. The Circulation Element is also concerned with establishing goals, policies, and implementation measures which would ensure that all components of the system would meet the future transportation needs of the City.

Items of particular concern to the City of Moorpark include:

- Streets, highways and freeways;
- Truck traffic;
- Public transit;
- Bicycle, pedestrian, and equestrian facilities; and
- Transportation demand management (e.g. car pooling, van pooling)

The Circulation Element addresses the circulation facilities needed to provide adequate roadway capacity, public transit services and opportunities for other modes of transportation.

General Goal

1. *Provide a transportation system that supports the land use plan in the General Plan and provides for the safe and efficient movement of people, goods, and services within, out of and through the City of Moorpark.*

Specific Plan No. 2 Property Implementation

1. The transportation system for Specific Plan No. 2 Property accommodates the need for safe and efficient transportation of future residents within the site, as well as for through traffic traveling from Walnut Canyon to Spring Road.

Level of Service Goal

2. *Provide a circulation system which supports existing, approved and planned uses throughout the City, while maintaining a desired level of service on all streets and at all intersections.*

Specific Plan No. 2 Property Implementation

2. The proposed circulation system for Specific Plan No. 2 would support both proposed and existing uses by providing an extension of Spring Road to connect with Walnut Canyon. Level of service (LOS) on the proposed system would exceed the City's standard of LOS C and the project's off-site impacts would be mitigated.

Roadway Standard Goal

3. *Adopt and maintain a set of roadway standards and transportation system design criteria which supports and maintains the desired character of the City of Moorpark.*

Specific Plan No. 2 Property Implementation

3. Specific Plan No. 2 Circulation Plan would be coordinated with the Public Works Department to assure compatibility with the City of Moorpark roadway standards and design criteria.

Transit System Goal

4. *Provide a public transportation system which serves the needs of persons living in and/or working in the City of Moorpark.*

Specific Plan No. 2 Property Implementation

4. Bus stops are proposed to allow linkage of the specific plan area with other parts of Moorpark and the region.

Bicycle and Pedestrian Facility Goal

5. *Provide a city-wide system of safe, efficient and attractive bicycle and pedestrian routes for commuter, school, and recreational uses.*

Specific Plan No. 2 Property Implementation

5. Specific Plan No. 2 Land Use Plan is designed with a series of planning areas that would be tied together by a community trails and an open space system which connects community features and promotes pedestrian and bicycle circulation.

Equestrian Facilities Goal

6. *Provide equestrian trails for recreational use.*

Specific Plan No. 2 Property Implementation

6. Specific Plan No. 2 proposes a 12-foot wide equestrian trail of decomposed granite to follow the alignment of the east/west arterial and a portion of the north/south arterial proposed on the site. This trail would allow for equestrian access from the western boundary to the eastern boundary of the site.

Transportation Demand Management Goal

7. *Develop and encourage a transportation demand management system to assist in mitigating traffic impacts and in maintaining a desired level of service on the circulation system.*

Specific Plan No. 2 Property Implementation

7. Transportation Demand Management requirements are included in the City of Moorpark Municipal Code and have been incorporated by reference as Specific Plan requirements.

11.1.5 Open Space, Conservation, & Recreation Element (Adopted August 1986)

The purpose of the Moorpark Open Space, Conservation, and Recreation (OSCAR) Element is to maintain the overall quality of life for Moorpark residents through rational management of natural resources and open space lands. The goals, policies, and implementation programs for the OSCAR Element provide guidelines to community actions.

Goal 1

Preserve and enhance the unique aesthetic and visual qualities of Moorpark as a City with scenic topographic features and elements that promote the quality of life that Moorpark citizens pursue.

Specific Plan No. 2 Property Implementation

The Land Use Plan for Specific Plan No. 2 is designed to preserve over 38 percent of the site for open space. The Plan proposes to preserve the scenic skyline backdrop by restricting the most visible development to occur approximately 1,000 feet below the major ridgeline.

Goal 2

Acquire, provide and maintain public park land for both Private and active use that is equally accessible to the community on a neighborhood and community:

Specific Plan No. 2 Property Implementation

Specific Plan No. 2 land use plan provides for 7.0 acres of public park. The plan also provides for 75.0 acres of private open space that would be available to the residents of Specific Plan No. 2.

Goal 3

Ensure the health, safety and general welfare of the public through designating land uses that would minimize the risk of danger to the public.

Specific Plan No. 2 Property Implementation

Where identified seismic hazards exist, Specific Plan No. 2 Land Use Plan designates these areas as public/private open space to the extent feasible, with the exception of an incremental amount of right-of-way.

Goal 4

Preserve and maintain the physical and biological environment from future growth related degradation. In those areas where degradation is inevitable, ensure the restoration of affected areas.

Specific Plan No. 2 Property Implementation

Specific Plan No. 2 Land Use Plan preserves the most sensitive biological areas by providing a 94-acre HCP area within the southern portion of the site.

Goal 5

Enhance and encourage communication channels throughout the community to provide up-to-date information on environmental issues and opportunities.

Specific Plan No. 2 Property Implementation

The approval process for Specific Plan No. 2 includes the preparation of an Environmental Impact Report; it would involve extensive public review through the public notice and hearing process.

Goal 6

Maintain and enhance the open space and designated non-growth areas for conservation, agriculture, ranching, recreation, leisure and aesthetic purposes.

Specific Plan No. 2 Property Implementation

Specific Plan No. 2 Land Use Plan designates 169.0 acres of land as open space, which would be tied into surrounding regional open space through a network of multi-use trails.

Goal 7

Protect scenic and recreational resources from adverse impacts resulting from oil exploration or oil drilling.

Specific Plan No. 2 Property Implementation

Specific Plan No. 2 development regulations do not allow for oil exploration or oil drilling.

11.1.6 Housing Element (Adopted October 1989)

State Law Requirements:

The need for housing is one which is shared by all citizens of Moorpark. The fundamental importance of having an adequate supply of available housing has also been recognized by the State Legislature. State law is very specific concerning the preparation and content of the Housing Element. It is the only Element which would be reviewed by the State for completeness and compliance with the law before it is adopted.

In conformance with State law, the Housing Element contains a Housing Needs Assessment, a Resources and Constraints Analysis, a Progress Report, and a Housing Plan and Program.

Overall Community Goals

1. *Adequate provision of decent, safe housing for all Moorpark residents without regard to race, age, sex, marital status, ethnic background or other arbitrary consideration.*
2. *Adequate provision of housing allowing maximum choice by type, tenure and location with particular attention to the provision of housing for the elderly, low and moderate income families, handicapped, and other households identified as having special housing needs.*
3. *Encourage growth within the City through the identification of suitable parcels for residential development, changes in land use patterns and conscientious recycling of property to the highest and best use.*
4. *Developing a balanced residential community which is accessible to employment, transportation, shopping, medical services, governmental agencies and any other services needed for a well-founded community.*

Specific Plan No. 2 Implementation

1. Specific Plan No. 2 community would provide a range of housing types which would be available to all Moorpark residents without discrimination.
2. Specific Plan No. 2 community would potentially provide 50 for-rent dwelling units affordable to very low and low income households, and 16 for-sale dwelling units affordable to moderate income households.
3. Specific Plan No. 2 Specific Plan No. 2 has been identified in the General Plan Land Use Element as suitable for residential development.
4. Specific Plan No. 2 is designed to be a well balanced community containing public facilities, recreational amenities, and linkages to regional transportation systems.

Housing Improvement and Maintenance Goals

1. *Assure the quality, safety, and habitability of housing within the City of Moorpark, and assure the continued high quality and integrity of residential neighborhoods.*

2. *Meet the needs of the current residents of the City of Moorpark by upgrading affordable, low and moderate income units through improvement of existing housing units and promoting greater housing affordability.*

Specific Plan No. 2 Implementation

1. Design quality within Specific Plan No. 2 would be assured through carefully crafted design guidelines intended to guide development. These guidelines would ensure that the landscape design and building architecture is consistent with selected design themes for the overall Specific Plan No. 2. The guidelines would direct quality in addition to style.
2. Specific Plan No. 2 would assist the City of Moorpark in meeting its affordable housing needs by providing 50 affordable for-rent dwelling units and 16 for-sale dwelling units.

Housing Production and Assistance Goals, Policies, and Objectives

1. *Assure that housing production maintains the integrity of its residential community and also meets its existing and projected housing needs.*
2. *Assist in the development of adequate housing to meet the needs of low and moderate income households.*
3. *Encourage regional cooperation in the development of shelters for the homeless.*

Specific Plan No. 2 Implementation

1. Build-out of Specific Plan No. 2 would aid in meeting the needs of Moorpark for projected housing. It would also help maintain the integrity of the nearby residential areas because the Land Use Map has been designed with special attention to assuring compatibility between adjoining uses. Intensities proposed for the site edges are harmonious with those just outside its boundaries.
2. Specific Plan No. 2 would provide 11 percent of its dwelling units as affordable to very low and lower income households.
3. This policy is not directly applicable to Specific Plan No. 2.

Removal of Governmental Constraints Goals, Policies, and Objectives

1. *Where appropriate and legally possible, remove unnecessary governmental constraints to the maintenance, improvement and development of housing.*

Specific Plan No. 2 Implementation

1. This policy is not directly applicable to Specific Plan No. 2.

Promotion of Equal Housing Opportunities Goals, Policies, and Objectives

1. *Promote equal housing opportunities.*

Specific Plan No. 2 Implementation

1. Specific Plan No. 2 would make a number of housing options available for rent and/or purchase without discrimination.

11.1.7 Safety Element (Adopted September 1986)

The Safety Element is required by state law which requires both a safety and a seismic element to be adopted. The City of Moorpark combined these two elements under the title of Safety Element.

The City of Moorpark Safety Element was developed for the following purposes:

- A. To meet the requirements of State law.
- B. To integrate the Seismic Safety and Safety Elements together in one coherent document.
- C. To investigate the various hazards from a regional as well as a local perspective so as to provide a more integrated picture of the hazardous conditions within Ventura County.
- D. To develop a framework which would permit the investigation of all types of hazards and the resources they impact.
- E. To present the information collected in a form which would allow decision makers and the public to quickly evaluate the pertinent aspects of a given hazard.
- F. To offer a range of response measures from which decision makers may choose as they attempt to alleviate a given hazard.
- G. To provide a framework in which future inventory and analysis can be performed.

The following safety components are addressed in the element: Fault Displacement, Earthquakes and Ground shaking, Liquefaction, Flooding, Landslide/Mudslide, Expansive Soils, Dam Inundation, and Fire Hazards.

The Safety Element includes an evaluation of the hazards and a range of response options. Because the element does not include specific requirements for responses, nor goals and policies like the other general plan elements, conformance with this element is only addressed in a general way in this section.

Flooding potential is evaluated in the Drainage Study conducted as a part of this Specific Plan; it is covered in the Storm Drainage section of this document. This hazard is also addressed in the EIR that accompanies this document.

Fire hazards and fuel modification measures are discussed in the Public Services and Design Guidelines sections of this document.

A Preliminary Geologic Feasibility Investigation was conducted for Specific Plan No. 2 by Pacific Soils Engineering. This report evaluated fault displacement, earthquake and ground shaking, liquefaction, landslide/mudslide potential, and expansive soils. Further studies were done as a part of the Environmental Impact Report that accompanies this document.

Specific Plan No. 2 development would be designed in accordance with all applicable government codes relative to flooding, fire, and geologic hazards.

11.1.8 Noise Element (Revised May 1998)

The Noise Element was developed in response to state law requirements which mandate that a noise element be included as a part of City and County general plans.

The purpose of the Noise Element is to serve as an official guide to the City Council, the Planning Commission, City departments, individual citizens, businessmen, and private organizations concerned with noise pollution within the City of Moorpark.

The Noise Element provides a reference to be used in connection with actions on various public and private development matters required by law, and is utilized to establish uniformity of policy and direction within the City concerning actions to minimize or eliminate excessive noise and for making decisions regarding proposals which may have an impact on the City's environment.

City of Moorpark Goals

The goal of the Noise Element is to ensure that the health and well-being of the citizens of Moorpark are not compromised by exposure to excessive and possibly harmful levels of noise. This would serve to provide a quality environment in which the citizens of Moorpark may live and have assurance of continued health and well-being.

Specific Plan No. 2 Implementation

Specific Plan No. 2 would be developed in conformance with City standards for noise. A noise study would be conducted as a part of the Environmental Impact Report, and the EIR would incorporate noise reduction mitigation measures.

Moorpark Policy

Noise barriers or other noise mitigation techniques should be required in new subdivisions if developed along state highways, city streets, or railroads where a significant impact exists or is projected at nearby noise-sensitive locations.

Specific Plan No. 2 Implementation

Specific Plan No. 2 would be developed in conformance with City requirements for noise reduction as indicated above.

Moorpark Policy 2

Noise barrier construction along state highways should be pursued where a significant impact exists or is projected at nearby residential zones and other noise sensitive locations.

Specific Plan No. 2 Implementation

The EIR prepared for Specific Plan No. 2 addresses various alternative alignments for future extensions of SR 118 and SR 23 within the site as well as the potential for noise impacts to nearby residential zones. Refer to the Environmental Impact Report mitigation requirements.

Moorpark Policy 3

Noise Barriers should be constructed along the Southern Pacific rail line corridor where residences exist adjacent to the main tracks.

Specific Plan No. 2 Implementation

There are no railroad tracks within or in the vicinity of Specific Plan No. 2 Specific Plan No. 2.

Moorpark Policy 4

The City should consider planning guidelines which include noise control for all new residential developments and condominium conversion projects.

Specific Plan No. 2 Property Implementation

Specific Plan No. 2 Property would be built in conformance with noise control guidelines and requirements adopted by the City for new residential developments.

Moorpark Policy 5

Future Specific Plan No. 2s within the City should reflect a consciousness on the part of the City regarding the reduction of unnecessary noise near existing noise-sensitive areas such as residences, parks, hospitals, libraries, convalescent homes, etc.

Specific Plan No. 2 Property Implementation

Specific Plan No. 2 site is presently vacant, and compatible uses would be placed adjacent to noise-sensitive uses which adjoin the site. Noise mitigation measures would be undertaken in conformance with City noise reduction requirements to minimize potential noise impacts to noise sensitive land uses.

Moorpark Policy 6

The City should develop a policy for noise abatement and control of residential commercial, and industrial activities within the City such that intrusive noise is limited to acceptable standards.

Specific Plan No. 2 Property Implementation

The development of Specific Plan No. 2 Property would be in conformance with City noise reduction requirements.

Moorpark Policy 7

The City should encourage the reduction of noise throughout Moorpark.

Specific Plan No. 2 Property Implementation

Noise mitigation measures would be undertaken to ensure that acceptable noise levels prevail in Specific Plan No. 2 community.

Appendix A
Legal Description

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Parcel A:

Lot 41, Vallette Tract, in the City of Moorpark, County of Ventura, State of California, as per Map recorded in Book 3, Page 41 of Maps, in the office of the County Recorder of said County.

EXCEPT an undivided 51% of all oil, gas and other hydrocarbon substances that may be produced from a depth below 500 feet from the surface of said land, but without any right of entry upon the surface of said land for the purpose of mining, drilling, exploring or extracting such oil, gas and other hydrocarbon substances or other use of or rights in or to any portion of the surface of said land and to a depth of 500 feet below the surface thereof, as reserved by Evan D. Williams, et al., in deed recorded December 15, 1964.

Parcel B:

All of Lot 42 and that portion of Lot 38, Vallette Tract, in the City of Moorpark, County of Ventura, State of California, as per Map recorded in Book 3, Page 41 of Maps, in the office of the County Recorder of said County, described as follows:

Beginning at the Southwest corner of said Lot 38, Vallette Tract, thence along the Easterly line of Lot 38,

1st: North 0° 04' West 612.34 feet to a point; thence,

2nd: South 38° 47' West 424.09 feet to a point; thence,

3rd: South 20° 26' West 265.22 feet, to a point; thence,

4th: South 17° 43' East to the Southerly line of Lot 38; thence,

5th: East 0° 0' to the point of beginning.

EXCEPT an undivided 51% of all oil, gas and other hydrocarbon substances that may be produced from a depth below 500 feet from the surface of said land, but without any right of entry upon the surface of said land for the purpose of mining, drilling, exploring or extracting such oil, gas and other hydrocarbon substances or other use of or rights in or to any portion of the surface of said land and to a depth of 500 feet below the surface thereof, as reserved by Evan D. Williams, et al., in deed recorded December 15, 1964.

Parcel C:

All of Lot 43 and that portion of Lot 39, Vallette Tract, in the City of Moorpark, County of Ventura, State of California, as per Map recorded in Book 3, Page 41 of Maps, in the office of the County Recorder of said County, described as follows:

Beginning at the Northeast corner of said Lot 39, Vallette Tract, thence along the Easterly line of Lot 39,

1st: South 0° 04' East 411.31 feet to a point; thence,

2nd: North 64° 48' West 169.29 feet to a point; thence,

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3rd: North 48° 17' West 167.61 feet to a point; thence,

4th: North 17° 43' West to the Northerly line of Lot 39 thence,

5th: East 0° 0' to the point of beginning.

EXCEPT an undivided 51% of all oil, gas and other hydrocarbon substances that may be produced from a depth below 500 feet from the surface of said land, but without any right of entry upon the surface of said land for the purpose of mining, drilling, exploring or extracting such oil, gas and other hydrocarbon substances or other use of or rights in or to any portion of the surface of said land and to a depth of 500 feet below the surface thereof, as reserved by Evan D. Williams, et al., in deed recorded December 15, 1964.

Parcel D:

Lot 44, Vallette Tract, in the City of Moorpark, County of Ventura, State of California, as per Map recorded in Book 3, Page 41 of Maps, in the office of the County Recorder of said County.

EXCEPT that portion of said land conveyed to the County of Ventura, in deed recorded October 14, 1942 in Book 660, Page 522 of Official Records.

EXCEPT an undivided 51% of all oil, gas and other hydrocarbon substances that may be produced from a depth below 500 feet from the surface of said land, but without any right of entry upon the surface of said land for the purpose of mining, drilling, exploring or extracting such oil, gas and other hydrocarbon substances or other use of or rights in or to any portion of the surface of said land and to a depth of 500 feet below the surface thereof, as reserved by Evan D. Williams, et al., in deed recorded December 15, 1964.

Parcel E:

Lot 45, Vallette Trct, in the City of Moorpark, County of Ventura, State of California, as per Map recorded in Book 3, Page 41 of Maps, in the office of the County Recorder of said County.

EXCEPT an undivided 51% of all oil, gas and other hydrocarbon substances that may be produced from a depth below 500 feet from the surface of said land, but without any right of entry upon the surface of said land for the purpose of mining, drilling, exploring or extracting such oil, gas and other hydrocarbon substances or other use of or rights in or to any portion of the surface of said land and to a depth of 500 feet below the surface thereof, as reserved by Evan D. Williams, et al., in deed recorded December 15, 1964.

Parcel F:

Lot 46, Vallette Tract, in the City of Moorpark, County of Ventura, State of California, as per Map recorded in Book 3, Page 41 of Maps, in the office of the County Recorder of said County.

EXCEPT an undivided 51% of all oil, gas and other hydrocarbon substances that may be produced from a depth below 500 feet from the surface of said land, but without any right of entry upon the surface of said land for the purpose of

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mining, drilling, exploring or extracting such oil, gas and other hydrocarbon substances or other use of or rights in or to any portion of the surface of said land and to a depth of 500 feet below the surface thereof, as reserved by Evan D. Williams, et al., in deed recorded December 15, 1964.

Parcel G:

Lots 47 and 48, Vallette Tract, in the City of Moorpark, County of Ventura, State of California, as per Map recorded in Book 3, Page 41 of Maps, in the office of the County Recorder of said County.

EXCEPT therefrom any portion of said land lying within Parcel A, as shown on parcel map filed in Book 14, Page 62 of Parcel Maps, in the office of the County Recorder of said County.

EXCEPT an undivided 51% of all oil, gas and other hydrocarbon substances that may be produced from a depth below 500 feet from the surface of said land, but without any right of entry upon the surface of said land for the purpose of mining, drilling, exploring or extracting such oil, gas and other hydrocarbon substances or other use of or rights in or to any portion of the surface of said land and to a depth of 500 feet below the surface thereof, as reserved by Evan D. Williams, et al., in deed recorded December 15, 1964.

Parcel H:

A part of Lots "U" and "V" as the same are shown upon that certain map entitled "Map of a part of Tract 'L' of Rancho Simi, Ventura County, California, shown in the Townsite of Moorpark and Lands of Madeleine R. Poindexter, a Resubdivision of Fremont Tract", in the City of Moorpark, County of Ventura, State of California, as per Map recorded in Book 5, Page 5 of Maps, in the office of the County Recorder of said County, described as follows:

Beginning at the point of intersection of the North line of Charles Street, as the same is shown on that certain map of M. L. Wicks Subdivision, as per Map recorded in Book 5, Page 37 of Maps, in the office of the County Recorder of said County of said County, and the boundary line between said Lots "U" and "V" as delineated upon the map first above described, said point of beginning being in the West line of and distant North 540.60 feet from the Southwest corner of that certain parcel of land, as conveyed to L. E. Hines by deed dated February 4, 1904, and recorded in Book 97, Page 390 of Deeds, from said point of beginning a 3" x 3" redwood post set at the Easterly terminus of the centerline of said Charles Street bears South 30 feet distant; a 4" x 4" redwood post set at the center of Section 4, Township 2 North, Range 19 West, Rancho Simi, bears South 112.80 feet distant and a point in the centerline of the main tract of the Southern Pacific Railroad bears South 590.60 feet distant; thence from said point of beginning,

1st: North 614.52 feet along the boundary line between said Lots "U" and "V" to a 4" x 4" redwood post set at the Northwest corner of said lands of L. E. Hines; thence at right angles,

2nd: East 991 feet to a point distant West 571.88 feet from a 3/4-inch pipe set at the Northeast corner of said lands of L. E. Hines; thence,

3rd: North 28° 21' 30" East 1204 feet to a point in the West line of that

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certain parcel of land, as conveyed to J. M. Stuart, by deed dated March 31, 1911 and recorded in Book 124, Page 371 of Deeds; from which a point in the centerline of that certain public road, 40 feet wide, described as first parcel in the deed to Ventura County, bears South 1788.47 feet; thence,

4th: North 1321.12 feet along the West line of said lands of J. M. Stuart to a point in the North line of said Lot "V" at the Northwest corner of said lands of J. M. Stuart from which the Northeast corner of Lot "V" at the Northeast corner of said lands of J. M. Stuart bears East 1071.84 feet distant; thence at right angles,

5th: South 89° 58' West 1414.38 feet along the North line of said Lot "V" to the Northeast corner of that certain parcel of land, as conveyed to Moorpark Water Light and Power Company, by deed dated July 31, 1912, and recorded in Book 136, Page 38 of Deeds, from which an old post marked "67" on the South face set at the corner common to Lots "U" and "V" as delineated upon the map first above described, and at the corner common to Lots 40 and 44 as shown upon the map of the Vallette Tract, recorded in Book 3, Page 41 of Maps, bears West 148.50 feet distant; thence at right angles,

6th: South 733.33 feet to the Southeast corner of said lands of Moorpark Water, Light and Power Company; thence,

7th: South 89° 58' West 424.20 feet along the South line of said lands of Moorpark Water, Light and Power Company; at 148.50 feet a point in the boundary line between said Lots "U" and "V", at 297 feet the Southwest corner of said lands of Moorpark Water, Light and Power Company, and the Southeast corner of that certain parcel of land 127.20 feet wide by 733.33 feet long, as conveyed to M. L. Wicks, Jr., et ux., by deed dated December 3, 1912 and recorded in Book 136, Page 330 of Deeds, at 424.20 feet to a point the East line of and distant South 199.23 feet from the Northeast corner of Lot 16, Tract No. 1, as the same is delineated upon the second above described map at the Southwest corner of said lands of M. L. Wicks, Jr., et ux.; thence,

8th: South 605.57 feet along the East line of said Tract No. 1, Wicks Subdivision, to the Southeast corner of Lot 13 of said Tract No. 1, Wicks Subdivision; thence at right angles,

9th: West 65 feet to the Northeast corner of Lot 12 of said Tract No. 1; thence at right angles,

10th: South 600 feet to the Southeast corner of said Lot 12, Tract No. 1; thence at right angles,

11th: West 35 feet to the Northeast corner of Lot 11 of said Tract No. 1; thence at right angles,

12th: South 700 feet; at 500 feet the Northeast corner of Lot 20, as the same is shown upon that certain map entitled "Moorpark Eastern Addition", recorded in Book 5, Page 18 1/2 of Maps; at 700 feet to a point in the North line of Bonnie View Street, at the Southeast corner of said Lot 20, Moorpark Eastern Addition; thence at right angles,

13th: East 50 feet to the Easterly terminus of the North line of said Bonnie View Street; thence at right angles,

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14th: South 40 feet to the Easterly terminus of the South line of said Bonnie View Street at the Northeast corner of Lot No. 19 1/2 of said Moorpark Eastern Addition and at the Northwest corner of that certain parcel of land, as conveyed to Moorpark Water, Light and Power Company, by deed dated June 12, 1914, and recorded in Book 142, Page 480 of Deeds; thence at right angles,

15th: East 50 feet along the Easterly prolongation of the South line of said Bonnie View Street to the Northeast corner of said lands of Moorpark Water, Light and Power Company; thence at right angles,

16th: North 15° to a point thence at right angles,

17th: East 125 feet to a point; thence at right angles,

18th: South 325 feet to a point in the North line of said Charles Street; thence along same,

19th: East 150.10 feet to the point of beginning.

EXCEPT that portion thereof included within the lines of the following described property:

That portion of Lot "U", Tract "L", Rancho Simi, in the County of Ventura, State of California, as per Map recorded in Book 5, Page 5 of Maps, in the office of the County Recorder of said County, described as follows:

Beginning at a point on the Easterly line of Lot 10, M. L. Wicks Subdivision, Tract No. 1, as per map recorded in Book 5, Page 37 of Maps, distant along the Easterly line of Lots 8, 9 and 10 of said Tract No. 1, Bonnie View Street at the Southeasterly corner of Lot 20, Moorpark Eastern Addition, as per map recorded in Book 5, Page 18 1/2 of Maps; thence along said Easterly line,

1st: South 0° 18' 14" East 424.34 feet to said Southeasterly corner of Lot 20; thence along the boundary of said Moorpark Eastern Addition by the following two courses,

2nd: North 89° 41' 46" East 50 feet to the Easterly terminus of said Northerly line of Bonnie View Street; thence,

3rd: South 0° 18' 14" East 40 feet to the Easterly terminus of the Southerly line of said Bonnie View Street; thence along the Easterly prolongation of said Southerly line,

4th: North 89° 41' 46" East 50 feet to the Northeasterly corner of the land described in the deed to Moorpark Water, Light and Power Company dated June 12, 1914 and recorded in Book 142, Page 480 of Deeds; thence at right angles,

5th: North 0° 18' 14" West 15 feet; thence at right angles,

6th: North 89° 41' 46" East 125.00 feet to the intersection with a line which is parallel with and distant Easterly 114.39 feet, measured at right angles from the Easterly lines and Southerly prolongation thereof, of said Lots 8, 9 and 10; thence along said parallel line,

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7th: North $0^{\circ} 18' 14''$ West 449.34 feet to the intersection with a line which is parallel with the Easterly prolongation of the North line of Parcel 6 as same is recorded in Book 4580, Page 591 of Official Records; thence along said prolongation and said North line,

8th: South $89^{\circ} 14' 46''$ West 214.39 feet to the point of beginning.

ALSO EXCEPT that portion of said land described in the Partial Reconveyance recorded April 11, 1968 in Book 3289, Page 374 of Official Records.

EXCEPT an undivided 51% of all oil, gas and other hydrocarbon substances that may be produced from a depth below 500 feet from the surface of said land, but without any right of entry upon the surface of said land for the purpose of mining, drilling, exploring or extracting such oil, gas and other hydrocarbon substances or other use of or rights in or to any portion of the surface of said land and to a depth of 500 feet below the surface thereof, as reserved by Evan D. Williams, et al., in deed recorded December 15, 1964.

Parcel I:

Part of Lot "V" in Tract "L" of the Rancho Simi, in the City of Moorpark, County of Ventura, State of California, as per Map recorded in Book 5, Page 5 of maps, in the office of the County Recorder of said County, described as follows:

Beginning at the Northeast corner of Lot "V"; thence,

1st: West along the North line of said Lot 1071.84 feet; thence,

2nd: South 2380.62 feet to the Northeast corner of the land conveyed to L. E. Hines, by deed recorded in Book 97, Page 390 of Deeds; thence,

3rd: South along the East line of said land of L. E. Hines, 728.97 feet to a point on the centerline of the strip of land conveyed to Ventura County by deed recorded in Book 68, Page 316 of Deeds; thence along the centerline of said road,

4th: North $58^{\circ} 04'$ East 40.26 feet to the Northerly terminus of the curve in the Westerly line of the 30 foot strip of land conveyed to Southern Pacific Railroad Company by deed recorded in Book 77, Page 114 of Deeds; thence continuing along the centerline of said road,

5th: North $58^{\circ} 04'$ East 20 feet; thence,

6th: South $47^{\circ} 00'$ East 118.87 feet; thence,

7th: North $55^{\circ} 25'$ East 181.20 feet; thence,

8th: North $40^{\circ} 00'$ East 589.20 feet; thence,

9th: North $18^{\circ} 15'$ West 69.19 feet; thence,

10th: North $59^{\circ} 47'$ East 170.67 feet; thence,

11th: North $76^{\circ} 30'$ East 301.16 feet, more or less, to a point in the East line of said Lot "V", distant thereon Northerly 711.26 feet from the common quarter

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corner between Sections 3 and 4, Township 2 North, Range 19 West, Rancho Simi and being the Northeast corner of the land described in deed to Perry L. Wicks, recorded in Book 145, Page 422 of Deeds; thence,

12th: North $0^{\circ} 04'$ East to the point of beginning.

EXCEPT the interest in a strip of land, 50 feet wide, conveyed to the County of Ventura, for road purposes by deed recorded in Book 68, Page 316 of Deeds.

ALSO EXCEPT any portion thereof conveyed to Southern Pacific Railroad Company, by deed recorded in Book 77, Page 114 of Deeds.

ALSO EXCEPT that portion described in deed to Le Roy S. Goodman and wife, recorded January 21, 1959 as Document No. 3122, in Book 1694, Page 241 of Official Records.

ALSO EXCEPT that portion described in deed to William Yrigoyen and wife, recorded March 16, 1959 as Document No. 10470 in Book 1713, Page 43 of Official Records.

ALSO EXCEPT that portion thereof included within the lines of the following described property:

That portion of Lot "V", Tract "L", Rancho Simi, in the County of Ventura, State of California, as per Map recorded in Book 5, Page 5 of Maps, in the office of the County Recorder of said County, described as follows:

Commencing at the Northwesterly corner of the land described in the deed to Le Roy S. Goodman and wife, recorded January 21, 1959, as Document No. 3122, in Book 1694, Page 241 of Official Records; thence along the Northerly prolongation of the Westerly line thereof North $0^{\circ} 17' 36''$ West 300 feet; thence parallel with the Northerly line of said last mentioned land and prolongation thereof North $89^{\circ} 42' 24''$ East 300 feet; thence North $77^{\circ} 36' 34''$ East 216.06 feet to the intersection with a line which is parallel with and distant Easterly 236.26 feet, measured at right angles, from the Easterly line and prolongation thereof of said land of Le Roy S. Goodman and being the true point of beginning; thence parallel with the Easterly prolongation of the Northerly line of said land of Le Roy S. Goodman,

1st: North $89^{\circ} 42' 24''$ East 563.70 feet to the Easterly line of said Lot "V"; thence along said last mentioned Easterly line,

2nd: South $0^{\circ} 17' 10''$ East 268.97 feet to the Northerly line of Los Angeles Avenue, being a curve concave Southeasterly having a radius of 1030 feet and a radial line bears North $13^{\circ} 49' 28''$ West; thence,

3rd: Southwesterly along said curve through an angle of $14^{\circ} 04' 06''$ an arc distance of 252.90 feet; thence tangent to said curve,

4th: South $62^{\circ} 06' 26''$ West 356.09 feet to the beginning of a tangent curve concave Southeasterly having a radius of 730 feet; thence,

5th: Southwesterly along said last mentioned curve through an angle of $1^{\circ} 03' 48''$, an arc distance of 13.55 feet to the intersection with a line which is parallel with the Easterly line and prolongation thereof of said land of Le Roy

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S. Goodman and passes through said true point of beginning; thence along said last mentioned parallel line;

6th: North 0° 17' 36" West 528.92 feet to the true point of beginning.

ALSO EXCEPT those portions of said land described in the Partial Reconveyances recorded May 10, 1967 in Book 3140, Page 564 of Official Records, April 11, 1968 in Book 3289, Page 374 of Official Records, July 1, 1969 in Book 3512, Page 428 of Official Records, and November 3, 1971 in Book 3881, Page 703 of Official Records.

ALSO EXCEPT that portion described in the deed to Joe Johnson and wife, recorded May 10, 1967 as Document No. 19917, in Book 3140, Page 567 of Official Records.

EXCEPT an undivided 51% of all oil, gas and other hydrocarbon substances that may be produced from a depth below 500 feet from the surface of said land, but without any right of entry upon the surface of said land for the purpose of mining, drilling, exploring or extracting such oil, gas and other hydrocarbon substances or other use of or rights in or to any portion of the surface of said land and to a depth of 500 feet below the surface thereof, as reserved by Evan D. Williams, et al., in deed recorded December 15, 1964.

Parcel J:

Part of Lot "V", Tract "L", Rancho Simi, in the City of Moorpark, County of Ventura, State of California, as per Map recorded in Book 5, Page 5 of map, in the office of the County Recorder of said County, described as follows:

Beginning at a point in the North line of that certain parcel of land conveyed to L. E. Hines, by deed dated February 4, 1904, recorded in Book 97, Page 390 of Deeds, distant East 991 feet from the Northwest corner of said lands of L. E. Hines, said corner being marked by a 4" x 4" redwood post; thence,

1st: East 571.88 feet along the said North line of said lands of L. E. Hines to a 3/4-inch iron pipe set at the Northeast corner of said lands of L. E. Hines and in the West line of lands conveyed to J. M. Stuart, by deed dated March 31, 1911, recorded in Book 124, Page 371 of Deeds; thence,

2nd: North 1059.59 feet along the West line of said land of J. M. Stuart to a point distant South 1321.12 feet from the Northwest corner of said land of J. M. Stuart in the North line of said Lot "V"; thence,

3rd: South 28° 21' 30" West 1204 feet to the point of beginning.

EXCEPT an undivided 51% of all oil, gas and other hydrocarbon substances that may be produced from a depth below 500 feet from the surface of said land, but without any right of entry upon the surface of said land for the purpose of mining, drilling, exploring or extracting such oil, gas and other hydrocarbon substances or other use of or rights in or to any portion of the surface of said land and to a depth of 500 feet below the surface thereof, as reserved by Evan D. Williams, et al., in deed recorded December 15, 1964.

Parcel K:

Parcel A, in the City of Moorpark, County of Ventura, State of California, as

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shown on a parcel map filed in Book 14, Page 62 of Parcel Maps, in the office of the County Recorder of said County.

EXCEPT an undivided 51% of all oil, gas and other hydrocarbon substances that may be produced from a depth below 500 feet from the surface of said land, but without any right of entry upon the surface of said land for the purpose of mining, drilling, exploring or extracting such oil, gas and other hydrocarbon substances or other use of or rights in or to any portion of the surface of said land and to a depth of 500 feet below the surface thereof, as reserved by Evan D. Williams, et al., in deed recorded December 15, 1964 as Document No. 89876 in Book 2689, Page 564 of Official Records.

Appendix B
Moorpark General Plan -
Specific Plan #2 Requirements

Parks - An evaluation will be conducted during the development of this specific plan to identify required park land dedication consistent with the City Municipal Code and General Plan requirements.

Circulation - The specific plan area circulation network will require consideration for topographical constraints, viewshed issues, and the adjacent Southern Pacific railroad tracks; shall provide protection for the conceptual alignment of the future SR-118 freeway corridor; and shall ensure that roadway rights-of-way are protected for the planned roadway upgrades, improvements, and additions as identified in the City's circulation plan.

Proposed Land Uses

The number of dwelling units shall not exceed 415, unless the specific plan area property owner agrees to provide public improvements, public services and/or financial contributions that the City Council determines to be of substantial public benefit to the community, in which event, the number of dwelling units shall not exceed 620. A minimum of 3 acres of land shall be designated as Public Institutional within this specific plan area. The appropriate amount of land to be designated as Open Space, Park, School, or any other appropriate land use designation, will be determined at the time of specific plan preparation or approval.

Overlay Designation - Agriculture 1 (285 acres)

Specific Plan 2

Specific Plan 2 consists of 445 acres under single ownership. It is located northerly of the City, east of Walnut Canyon Road and west of College Heights Drive. Generally, the majority of this specific plan area is characterized as a gently sloping plateau with prominent hillsides in the northern section, and is currently vacant and used for seasonal grazing.

Opportunities and Constraints

Specific plan area development issues will be addressed during specific plan preparation and subsequent review, and include:

Topography - Existing steep hillsides within the specific plan area require a complete evaluation of steep slopes, unstable soils, and other potential geotechnical constraints during the development/review of this specific plan. Consistent with City policy, grading is restricted on slopes greater than 20 percent and development prohibited in areas where potential hazards cannot be fully mitigated.

Hydrology - An evaluation of existing drainage courses, surface runoff, potential flood hazards and other hydrological constraints will be conducted during the development/review of this specific plan.

Viewshed - The importance and visibility of hillside horizon lines and prominent ridgelines within this specific plan area from surrounding areas will be evaluated during the preparation and review of the specific plan. Clustering of dwelling units should be considered where appropriate to conserve important visual and natural resources/hazard areas.

Biological Resources - The significance of biological resources which may occur onsite (i.e., oak trees, threatened, rare, endangered plants and animals, etc.) shall be determined during specific plan preparation and review. The preservation of any resources determined to be significant shall be encouraged through habitat preservation, enhancement, or replacement.

Archaeology - The specific plan area will be evaluated to determine whether archaeological resources occur within the overall plan area and their potential significance.

Public Services/Infrastructure - Water, sewer, gas and electric service to the specific plan area will be provided through service extensions from existing transmission lines in the surrounding area. An evaluation will be conducted during the development of this specific plan regarding required land use set-asides and financing for schools and community services such as fire stations and libraries.

Parks - An evaluation will be conducted during the development of this specific plan to identify required park land dedication consistent with the City Municipal Code and General Plan requirements.

Circulation - The specific plan area circulation network will require consideration for topography, viewshed, and for its integration with both the conceptual future freeway alignments for SR-118 and SR-23, and the future Broadway extension. The specific plan shall ensure that roadway right-of-ways are protected for the planned roadway upgrades, improvements and additions as identified in the City's circulation plan.

Proposed Land Uses

The number of dwelling units shall not exceed 475, unless the specific plan area property owner agrees to provide public improvements, public services and/or financial contributions that the City Council determines to be of substantial public benefit to the community, in which event, the number of dwelling units shall not exceed 712. A minimum of 7 acres of land shall be designated

as Public Institutional within this specific plan area. The appropriate amount of land to be designated as Open Space, Park, School, or any other appropriate land use designation, will be determined at the time of specific plan preparation or approval.

Overlay Designation - Open Space 1 (300 acres)
Rural Low (145 acres)

Specific Plan 3 (Deleted)

Specific Plan 9

Specific Plan 9 consists of approximately 24.8 acres under one ownership, located in the western section of the City, north of High Street, west of Walnut Canyon Road, and south of Casey Road. This specific plan area consists of the City's former high school site and contains the playing fields and classroom buildings. The area formerly a part of the high school site, that was purchased by the Moorpark Boys and Girls Club, is not part of this specific plan area.

Opportunities and Constraints

Specific plan area development issues will be addressed during specific plan preparation and subsequent review, and include:

Topography - An evaluation of steep slopes, unstable soils and other geotechnical constraints within the hillside areas of development will be conducted during the development/review of this plan. Consistent with City policy, grading is restricted on slopes greater than 20 percent and development prohibited in areas where potential hazards cannot be fully mitigated.

Hydrology - An evaluation of existing drainage courses, surface runoff, potential flood hazards and other hydrological constraints will be conducted during the development/review of this specific plan.

Viewshed - The importance and visibility of hillside horizon lines and any prominent ridgelines within this specific plan area from surrounding areas will be evaluated during the preparation and review of the specific plan. Clustering of dwelling units should be considered where appropriate to conserve important visual and natural resources/hazard areas.

Appendix C

Definitions

DEFINITIONS

Affordable For-Rent Unit - A dwelling unit built under the provisions of Section 4.1.2 of this document.

Affordable Household - A household with a total income which does not exceed 120 percent of the County Median Household Income.

Affordable Housing - Residential dwelling units defined as such by HUD.

Affordable Housing Payment - A total monthly housing payment which does not exceed 30 percent of the maximum gross monthly income of an Affordable Household. When computing the housing payment, principal, interest, and private mortgage insurance on any mortgage loan, as well as any applicable HOA fees, special assessments, and property taxes may be included.

Affordable Housing Program - The program designed to provide an expanded range of housing opportunities within Specific Plan No. 2, which opportunities are reserved solely for Affordable Households as more fully described in Section 4.1.2.

Affordable Housing Status Report - An annual report to be submitted to the AHA or other Enforcing Agency.

Affordable Rental Payment - A monthly rental payment that does not exceed 30 percent of the maximum gross monthly income of an Affordable Household.

Affordable Rental Unit - A rental unit built as part of the Affordable Housing Program (refer to Section 4.1.2) which is occupied by or available to a certified Qualifying Affordable Household.

Affordable Residential Units - The Affordable Housing units which are not Ancillary Units.

Applicant - A person or entity formally submitting an application for a permit within the Specific Plan Area.

Low Income Households - Those having an income of between 50 percent to 80 percent of the median income for the County, as established by HUD.

Median Household Income - The median annual income for a household in the County as established by HUD.

Moderate Income Households - Those households having an income of between 80 percent and 120 percent of the median income for the County, as established by HUD.

Very Low Income Households - Those having an income of 50 percent or less of the median household income for the County, as established by HUD.